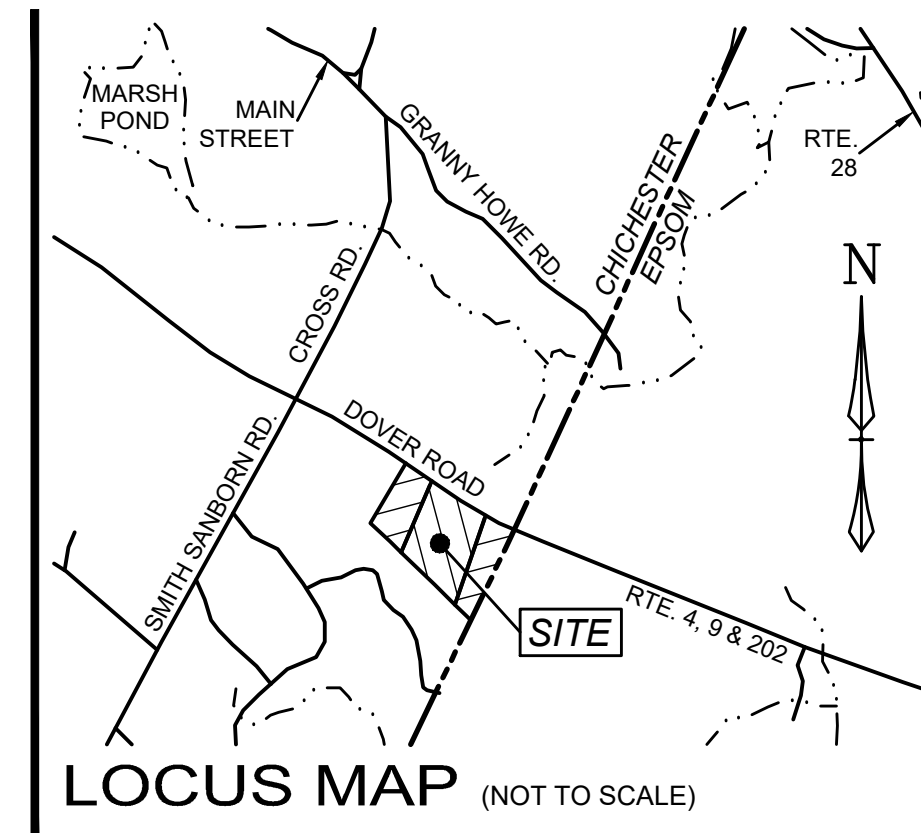


S I T E D E V E L O P M E N T P L A N S

DOVER ROAD- CHICHESTER, NH



NOTES:

- 1.) THE SUBJECT PARCEL IS LOT 150C ON THE TOWN OF TAX MAP 4. THE OWNER OF RECORD OF LOT 150C IS MAL-MAR LLC OF 20 SUMMITT AVENUE, DERRY, NH 03038. SEE MCRD V. 2247 P. 434.
- 2.) THE SUBJECT PARCELS ARE ZONED CI/MF. MINIMUM LOT SIZE IS 2 ACRES. MINIMUM LOT FRONTAGE = 200'. SETBACKS ARE AS FOLLOWS: FRONT = 40' MIN. (90' FROM CENTERLINE OF ROUTE 4, 202 & 9), SIDE = 15' AND REAR = 15', SUBJECT TO EXACT USE. THE SETBACKS SHOWN ARE FOR REFERENCE ONLY AND NEED TO BE VERIFIED WITH THE ZONING COMPLIANCE OFFICER.
- 3.) THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN JANUARY TO MARCH OF 2019. I, JOSEPH M. WICHERT, NHLLS #783, CERTIFY THAT THE WORK WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.
- 4.) THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY OF THE SUBJECT PARCELS AND THE CURRENT CONDITIONS THEREON.
- 5.) THE SUBJECT PARCELS ARE IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP, MERRIMACK COUNTY, NEW HAMPSHIRE, MAP NUMBER 33013C0557E, EFFECTIVE DATE APRIL 19, 2010.
- 6.) THE VERTICAL DATUM IS NAVD 1988 AND THE HORIZONTAL DATUM IS NHSPC 1983/2011. THE DATUM WERE ESTABLISHED USING STATIC GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN AUGUST OF 2018.
- 7.) THE UTILITY INFORMATION SHOWN IS BASED ON THE ABOVE GROUND LOCATION OF VISIBLE UTILITIES, THE CONTRACTOR NEEDS TO FIELD VERIFY ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THIS OFFICE DOES NOT GUARANTEE THE LOCATION AND ACCURACY OF THE UTILITY DATA. DIG SAFE SHALL BE CONTACTED 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION (811).
- 8.) THE PURPOSE OF THE PLAN SET IS TO SHOW THE PROPOSED IMPROVEMENTS FOR A GRAVEL STORAGE AREA ON THE SUBJECT PARCEL. DRAINAGE, GRADING AND UTILITIES HAVE BEEN INCLUDED
- 9.) NO CHANGES TO THE PARKING OR BUILDING ARE PROPOSED AS PART OF THIS GRAVEL STORAGE AREA.
- 10.) WETLANDS WERE DELINEATED BY ASPEN ENVIRONMENTAL CONSULTANTS IN JAN. 7, MARCH 27, AND JULY 29 2019 BY AARON WECHSLER USING THE ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, DATED JANUARY 1987.
- 11.) AN ENVIRONMENTAL MONITOR MAY WILL BE REQUIRED DUE TO THE AREA OF DISTURBANCE BEING GREATER THAN 5 ACRES. THE MONITOR SHALL ADHERE TO ALL REQUIREMENTS OF ENV-WQ 1505.03(D)

L I S T O F D R A W I N G S

| DWG NO. | DESCRIPTION |
|------------|--|
| 1 | COVER SHEET |
| 2 | EXISTING CONDITIONS |
| 3,4 | SITE AND GRADING PLAN |
| 5, 6, 7, 8 | CONSTRUCTION & EROSION CONTROL DETAILS |
| 9,10 | BMP MAINTENANCE SHEETS |

N O T E :

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF CHICHESTER REGULATIONS AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
2. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
3. PHYSICAL EVIDENCE OF EXISTING UTILITIES WERE LOCATED ON THE GROUND HOWEVER PRIOR TO ANY CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT DIG-SAFE AND VERIFY ALL UNDERGROUND UTILITY LOCATIONS.

A G E N C Y A P P R O V A L S :

NHDOT - DRIVEWAY PERMIT APPR # NH DOT DRIVEWAY PERMIT NO. _____
 NHDES - ALTERATION OF TERRAIN PERMIT NO. _____

PLAN REFERENCES:

- 1.) "SUBDIVISION OF EDITH TASKER, ROUTE 4, 202 & 9, CHICHESTER, N.H.", DATED AUGUST 1984 AND PREPARED BY SURVEY FIELD SERVICES. MCRD PLAN 8,095.
- 3.) "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID PROJECT, NO. 179 (2), CENTRAL ROAD, AS-BUILT PLANS, TOWN OF CHICHESTER, COUNTY OF MERRIMACK", DATED 4/03/1940 & ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- 4.) CHICHESTER-EPSOM, P7909, WORKSHEET, PLOTTED 7/07/1967 ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- 5.) "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, CONSTRUCTION PLANS, FEDERAL AID PROJECT, X-A004(170), N.H. PROJECT NO. 29533, US ROUTE 202/4 & NH ROUTE 9. DATED 5/12/2016 & ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.



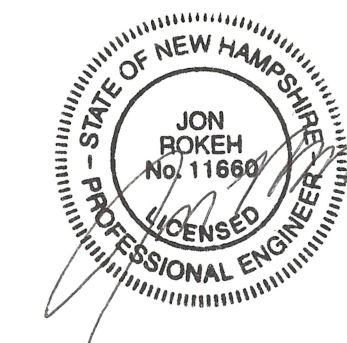
CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. ROKEH CONSULTING, LLC, MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY UTILITIES WHETHER THEY BE ABOVE OR BELOW GROUND. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-800-DIG-SAFE.

L I S T O F A D D I T I O N A L C O N S U L T A N T S

LAND SURVEYOR
 JOSEPH M. WICHERT, LLS INC
 802 AMHERST STREET
 MANCHESTER, NH 03104
 Phone: (603) 647-4282

WETLANDS AND SOIL SCIENTIST
 AARON WECHSLER
 ASPEN ENVIRONMENTAL
 41 LIBERTY HILL ROAD
 BUILDING 2, UNIT 201
 HENNIKER, NH 03242
 603) 848-5606



Developer
 Mal-Mar, LLC
 20 Summit Avenue,
 Derry, NH

COVER SHEET
 SITE PLAN
 TAX PARCEL 4 LOT 150C & E
 DOVER ROAD
 CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

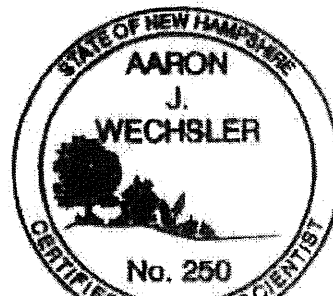
| REVISIONS | | | | |
|-----------|----------------------------|--------|-------|--|
| DATE | DESCRIPTION | DWN BY | CK BY | |
| 03/05/20 | ADDRESS NHDES AOT COMMENTS | JR | JR | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

Rokeh Consulting, LLC
 89 KING ROAD, CHICHESTER, NH
 PH: 603-387-8688

SCALE: NTS
 DATE: OCTOBER 2, 2019
 DR. BY: JR CK. BY: JR
 JOB NO. _____
 SHEET NO. 1 OF 10

WETLANDS NOTE:

WETLANDS SHOWN WERE DELINEATED USING STANDARDS AND METHODOLOGY APPROVED BY THE ARMY CORPS OF ENGINEERS AND THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES WETLANDS BUREAU. WETLANDS WERE DELINEATED ON JANUARY 7, MARCH 27 AND JULY 29, 2019 BY AARON WECHSLER, CWS #250, OF ASPEN ENVIRONMENTAL CONSULTANTS, LLC.



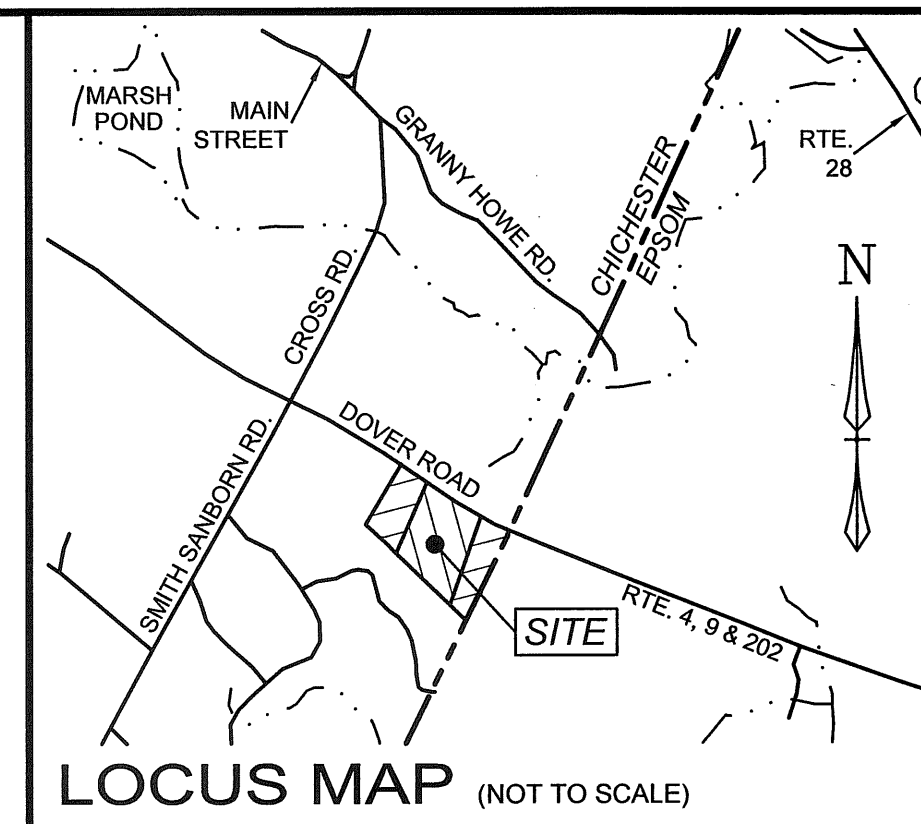
TAX MAP 4 LOT 151
D.B.U. CONSTRUCTION, INC.
PO BOX 984
EPSOM, NH 03038
V. 3599 P. 869

TAX MAP 4 LOT 152
DAVID, SR. & KATHLEEN MIHACHIK,
DAVID MIHACHIK, JR. & JAMES MIHACHIK
56 BLACK HALL ROAD
EPSOM, NH 03234
V. 2205 P. 1464

**DOVER ROAD A.K.A.
U.S. RTE. 4 & 202,
N.H. RTE. 9**

108' WIDE R.O.W.

SEE MCRD V. 1018, P. 82 FOR COMMISSIONERS' RETURN OF HIGHWAY LAYOUT, P-7909, 1967. INCLUDES EXPANSION OF THE R.O.W. TO THE LIMITS SHOWN AND RESERVES RIGHTS TO EXTEND SLOPES BEYOND IT. SEE MCRD V. 3519, P. 1598 FOR DRAINAGE EASEMENTS. SEE NH PROJECT 29,533.



NOTES:

- 1) THE SUBJECT PARCELS ARE LOTS 150B, 150C & 150E ON THE TOWN OF TAX MAP 4. THE OWNER OF RECORD OF LOT 150C IS MAL-MAR LLC OF 20 SUMMITT AVENUE, DERRY, NH 03038. SEE MCRD V. 2247 P. 434. THE OWNER OF LOTS 150B & 150E IS GNB, LLC, 9 DOVER ROAD, CHICHESTER, NH 03258. SEE MCRD V. 3613 P. 1814.
- 2) THE SUBJECT PARCELS ARE ZONED C1/MF. MINIMUM LOT SIZE IS 2 ACRES. MINIMUM LOT FRONTAGE = 200'. SETBACKS ARE AS FOLLOWS: FRONT = 40' MIN. (90' FROM CENTERLINE OF ROUTE 4, 202 & 9), SIDE = 15' AND REAR = 15', SUBJECT TO EXACT USE. THE SETBACKS SHOWN ARE FOR REFERENCE ONLY AND NEED TO BE VERIFIED WITH THE ZONING COMPLIANCE OFFICER.
- 3) THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN JANUARY TO MARCH OF 2019. I, JOSEPH M. WICHERT, NHLS #783, CERTIFY THAT THE WORK WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.
- 4) THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY OF THE SUBJECT PARCELS AND THE CURRENT CONDITIONS THEREON.
- 5) THE SUBJECT PARCELS ARE IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP, MERRIMACK COUNTY, NEW HAMPSHIRE, MAP NUMBER 33013C0557E, EFFECTIVE DATE APRIL 19, 2010.
- 6) THE VERTICAL DATUM IS NAVD 1988 AND THE HORIZONTAL DATUM IS NHSPC 1983/2011. THE DATUM WERE ESTABLISHED USING STATIC GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN AUGUST OF 2018.
- 7) THE UTILITY INFORMATION SHOWN IS BASED ON THE ABOVE GROUND LOCATION OF VISIBLE UTILITIES. THE CONTRACTOR NEEDS TO FIELD VERIFY ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THIS OFFICE DOES NOT GUARANTEE THE LOCATION AND ACCURACY OF THE UTILITY DATA. DIG SAFE SHALL BE CONTACTED 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION (811).

PLAN REFERENCES:

- 1) "SUBDIVISION OF EDITH TASKER, ROUTE 4, 202 & 9, CHICHESTER, N.H.", DATED AUGUST 1984 AND PREPARED BY SURVEY FIELD SERVICES. MCRD PLAN 8,095.
- 3) "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID PROJECT, NO. 179 (2), CENTRAL ROAD, AS-BUILT PLANS, TOWN OF CHICHESTER, COUNTY OF MERRIMACK", DATED 4/03/1940 & ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- 4) CHICHESTER-EPSOM, P7909, WORKSHEET, PLOTTED 7/07/1967 ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- 5) "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, CONSTRUCTION PLANS, FEDERAL AID PROJECT, X-A004(170), N.H. PROJECT NO. 29533, US ROUTE 202/4 & NH ROUTE 9. DATED 5/12/2016 & ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.

**EXISTING CONDITIONS PLAN FOR
MAL-MAR, LLC
TAX MAP 4 LOT 150C &
GNB, LLC
TAX MAP 4 LOT 150B & 150E
9 DOVER ROAD AKA ROUTES 4, 202 & 9
CHICHESTER, NEW HAMPSHIRE**

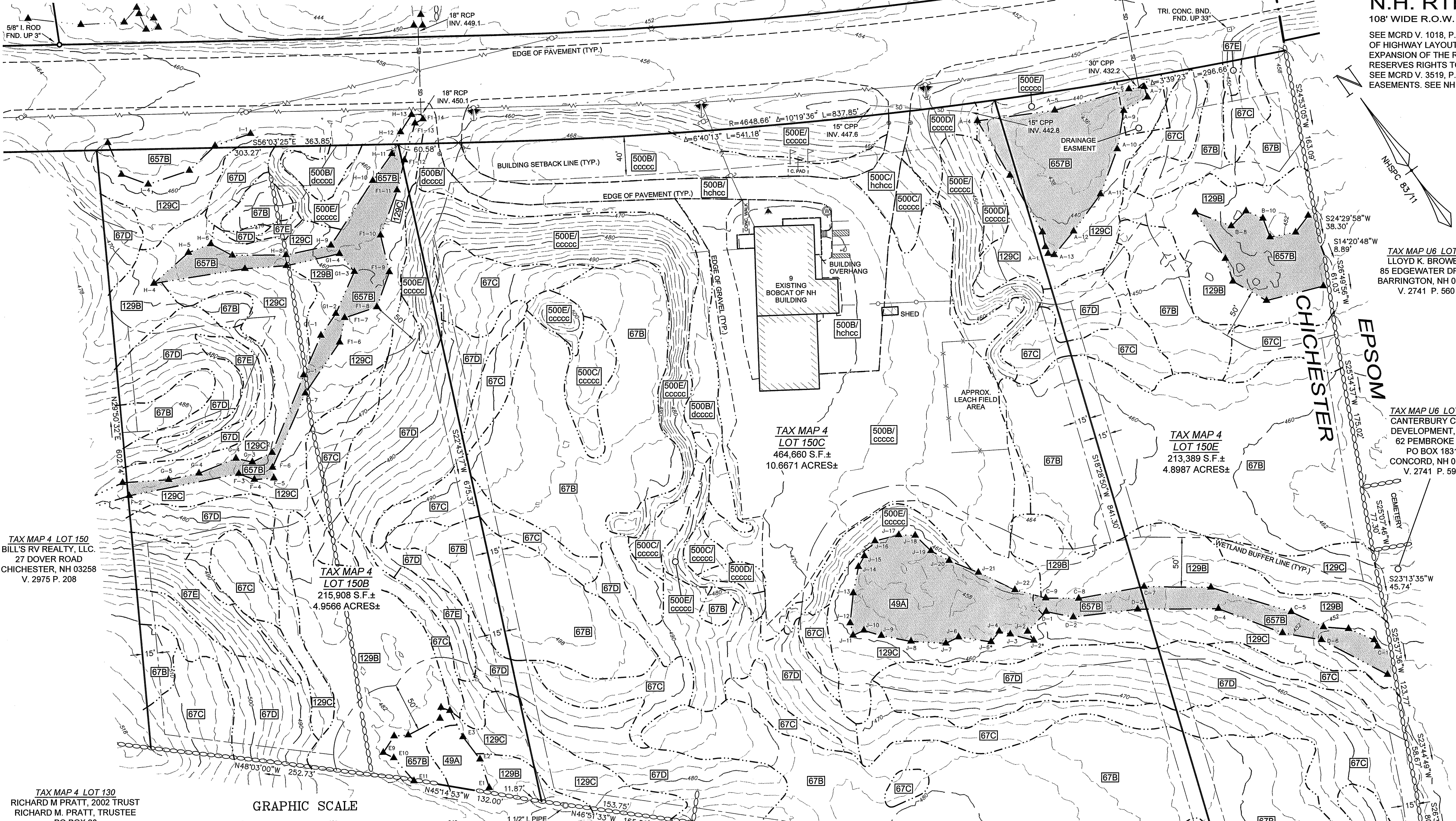
DATE: MARCH 8, 2019 SCALE: 1" = 60'

802 AMHERST STREET
MANCHESTER, NH 03104
TEL: (603) 647-4282 OR 736-8203
FAX: (603) 623-1910
WEB: WWW.JMWLLS.COM

Joseph M. Wichert
LLS, INC.

LAND SURVEYOR & SEPTIC SYSTEM DESIGNER

SHEET S1 SHEET 1 OF 1 F.B. - P. - JOB #2016140 2019



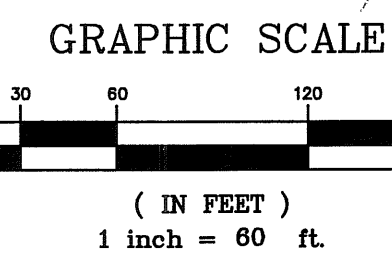
TAX MAP 4 LOT 150
BILL'S RV REALTY, LLC.
27 DOVER ROAD
CHICHESTER, NH 03258
V. 2975 P. 208

TAX MAP 4 LOT 150B
215,908 S.F. ±
4.9566 ACRES ±

TAX MAP 4 LOT 150C
464,660 S.F. ±
10.6671 ACRES ±

TAX MAP 4 LOT 150E
213,389 S.F. ±
4.8987 ACRES ±

TAX MAP 4 LOT 130
RICHARD M PRATT, 2002 TRUST
RICHARD M. PRATT, TRUSTEE
PO BOX 23
EPSOM, NH 03234
V. 2370 P. 1256



TAX MAP 4 LOT 132
LOUIS A. & HEATHER K BARKER
23 HILLVIEW DRIVE
CHICHESTER, NH 03258
V. 3599 P. 869

TAX MAP 4 LOT 134
LEE M. ADAMS & KENNETH C. SMITH
33 HILLVIEW DRIVE
CHICHESTER, NH 03258
V. 3522 P. 1745

SYMBOL LEGEND

- IRON PIPE FOUND
- ◐ CONC. OR GRAN. BOUND FOUND
- DRILL HOLE
- ☆ LIGHT POLE
- ⊕ UTILITY POLE
- ⊙ WELL
- ▲ WETLAND FLAG
- ⊙ SSS MAP SYMBOL
- SSS SOIL LINE
- WETLAND LINE
- SD STORM DRAIN
- OVERHEAD UTILITY LINE
- ○ ○ ○ ○ STONE WALL

SITE SPECIFIC SOIL MAP UNIT KEY:

| SYMBOL | MAP UNIT | SLOPE CLASS | DRAINAGE CLASS | HISS SYMBOL | HYDROLOGIC SOIL GROUP |
|------------|-----------------------------------|-------------|----------------|-------------|-----------------------|
| 49A | WHITMAN LOAM | 0-3% | V. | 623AH | D |
| 67B | PAXTON F. SANDY LOAM, V. STONY | 0-8% | WELL | 223BH | C |
| 67C | PAXTON F. SANDY LOAM, V. STONY | 8-15% | WELL | 223CH | C |
| 67D | PAXTON F. SANDY LOAM, V. STONY | 15-25% | WELL | 223DH | C |
| 67E | PAXTON F. SANDY LOAM, V. STONY | 25% + | WELL | 223EH | C |
| 129B | WOODBURGE F. SANDY LOAM, V. STONY | 0-8% | MOD. WELL | 323BH | C |
| 129C | WOODBURGE F. SANDY LOAM, V. STONY | 8-15% | MOD. WELL | 323CH | C |
| 500B/ccccc | UDORTHERTS, LOAMY | 0-8% | WELL | 263BH | C |
| 500C/ccccc | UDORTHERTS, LOAMY | 8-15% | WELL | 263CH | C |
| 500D/ccccc | UDORTHERTS, LOAMY | 15-25% | WELL | 263DH | C |
| 500E/ccccc | UDORTHERTS, LOAMY | 25% + | WELL | 263EH | C |
| 500B/hcccc | UDORTHERTS, LOAMY | 0-8% | MOD. WELL | 363BH | C |
| 500C/hcccc | UDORTHERTS, LOAMY | 0-8% | UNDETERM. | 763BH | C |
| 657B | RIDGEBURY F. SANDY LOAM, V. STONY | 0-8% | POORLY | 523BH | C |

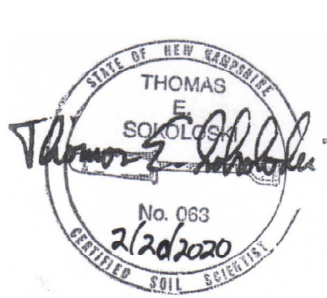
I CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE WITH A TOPCON GT 503. THE ERROR OF CLOSURE ON ALL LOT LINES WITHIN AND BORDERING THE SUBJECT PROPERTY IS BETTER THAN 1 IN 10,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I HEREBY CERTIFY THAT A COPY OF THIS PLAN HAS BEEN FILED WITH THE CHICHESTER PLANNING BOARD IN ACCORDANCE WITH RSA 676:18(IV).

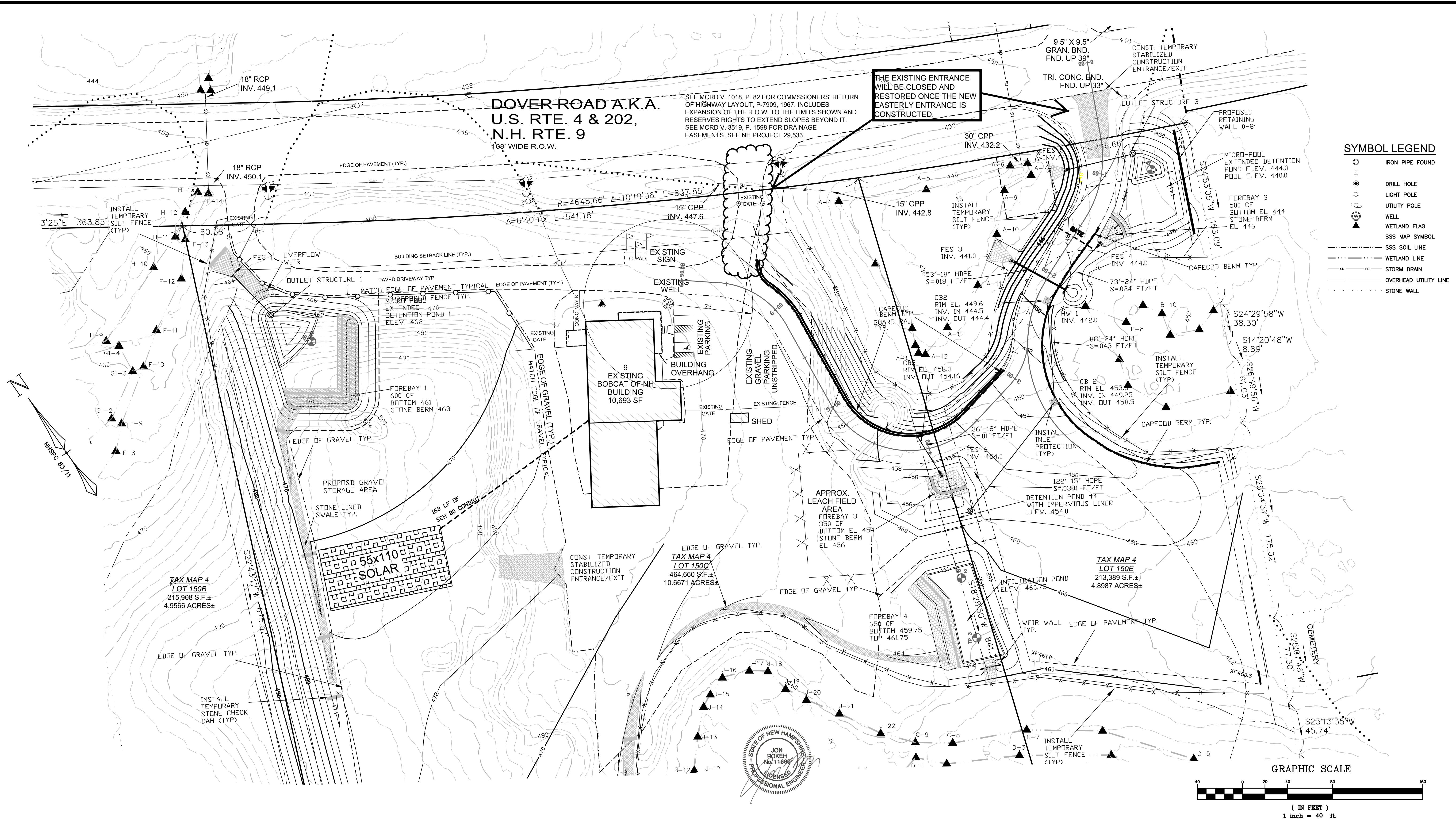
31 DEC. 2019
DATE

STATE OF NEW HAMPSHIRE
No. 783
JOSEPH M. WICHERT
LAND SURVEYOR
SIGNATURE



| NO. | DATE | DESCRIPTION | BY |
|-----|---------|-----------------------------------|-----|
| 4 | 9/13/19 | ADD S.S.S. MAPPING ON LOT 150C | SNK |
| 3 | 8/13/19 | ADD WET FLAGS ON LOT 150C | JMW |
| 2 | 4/26/19 | ADD SITE SPECIFIC SOIL MAPPING | SNK |
| 1 | 3/21/19 | REVISED STREET LINE, ADDED DETAIL | SNK |

* REFER TO ACCOMPANYING REPORT FOR 5-UNIT SUPPLEMENTAL SYMBOL EXPLANATION.



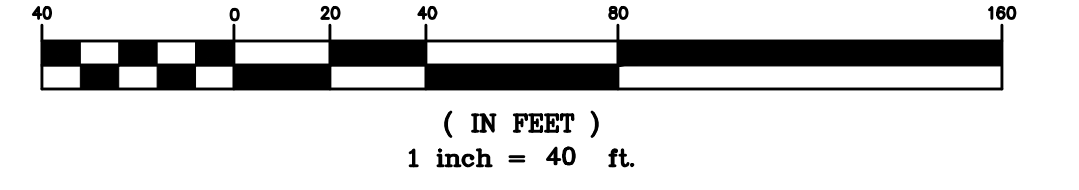
SEE MCRD V. 1018, P. 82 FOR COMMISSIONERS' RETURN OF HIGHWAY LAYOUT, P. 7909, 1967, INCLUDES EXPANSION OF THE R.O.W. TO THE LIMITS SHOWN AND RESERVES RIGHTS TO EXTEND SLOPES BEYOND IT. SEE MCRD V. 3519, P. 1598 FOR DRAINAGE EASEMENTS. SEE NH PROJECT 29.533.

THE EXISTING ENTRANCE WILL BE CLOSED AND RESTORED ONCE THE NEW EASTERLY ENTRANCE IS CONSTRUCTED.

SYMBOL LEGEND

- IRON PIPE FOUND
- DRILL HOLE
- LIGHT POLE
- UTILITY POLE
- WELL
- WETLAND FLAG
- SSS MAP SYMBOL
- SSS SOIL LINE
- WETLAND LINE
- STORM DRAIN
- OVERHEAD UTILITY LINE
- STONE WALL

GRAPHIC SCALE



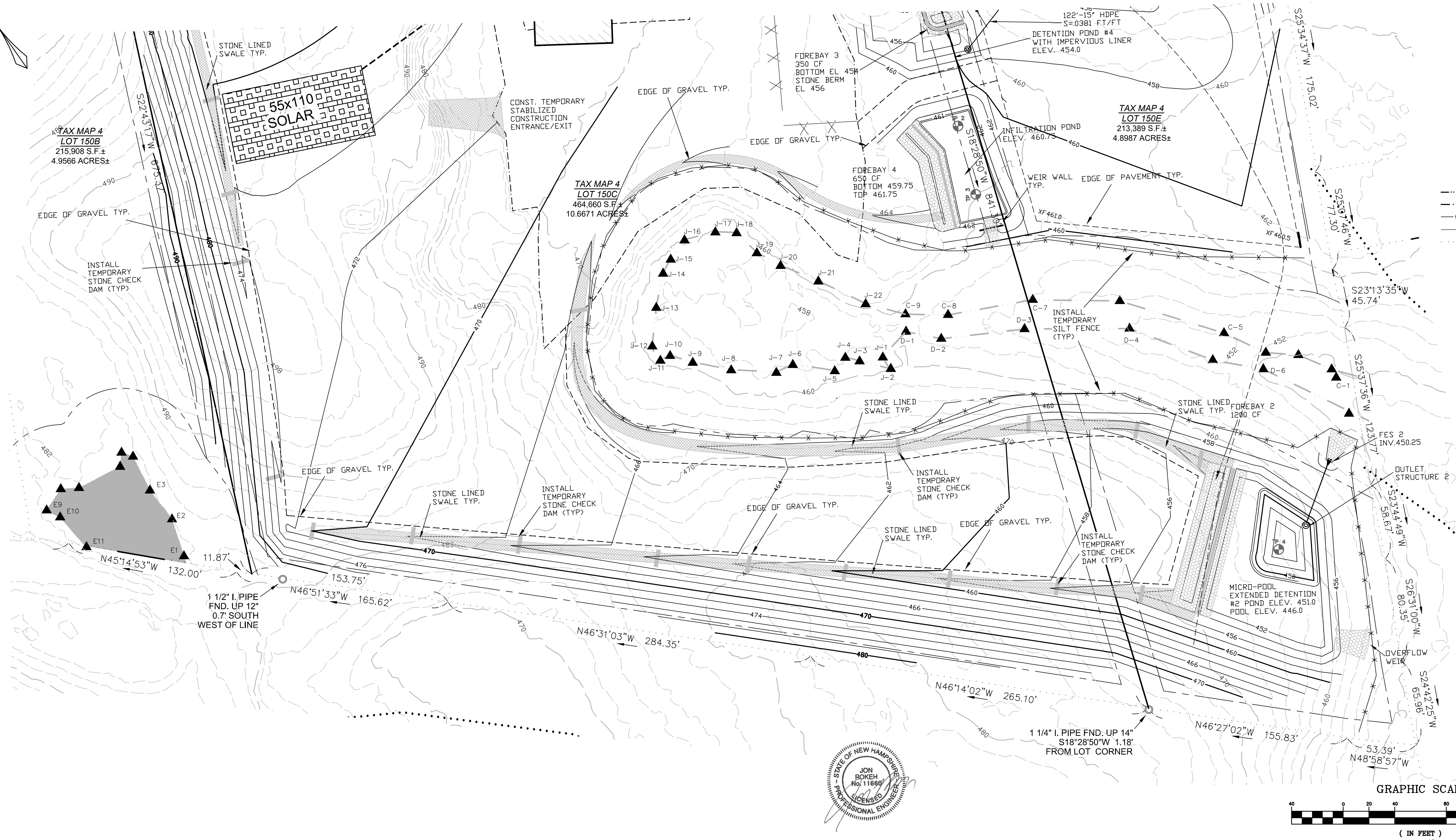
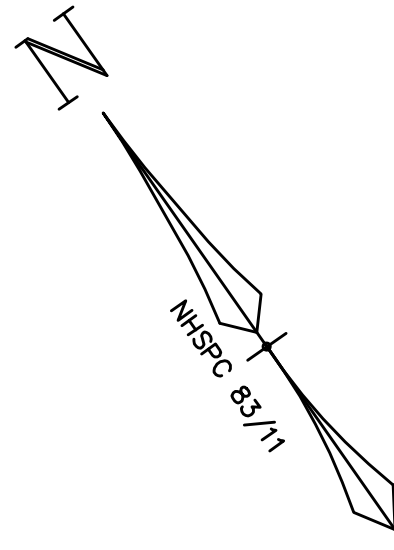
Developer
Mal-Mar, LLC
20 Summit Avenue,
Derry, NH

**DRAINAGE GRADING AND EROSION CONTROL
SITE PLAN
TAX PARCEL 4 LOT 150C & E
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE**

| REVISIONS | | DATE | DESCRIPTION | DWN BY | CK BY |
|-----------|----------------------------|------|-------------|--------|-------|
| 03/05/20 | ADDRESS NHDES AOT COMMENTS | | | JR | JR |
| | | | | | |
| | | | | | |
| | | | | | |

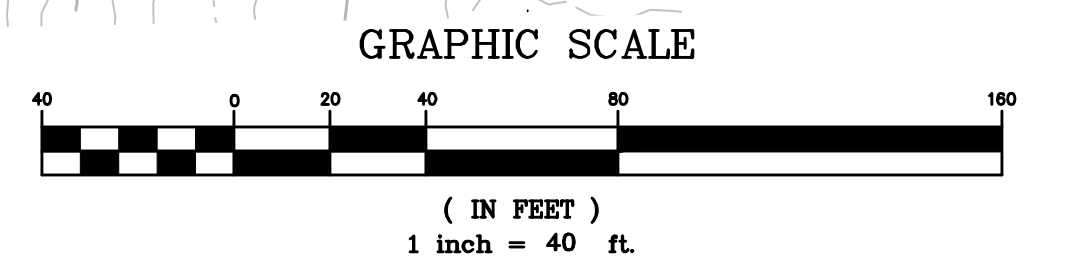
Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 40'
DATE: OCTOBER 2, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 3 OF 10



SYMBOL LEGEND

| | |
|--|-----------------------|
| | IRON PIPE FOUND |
| | DRILL HOLE |
| | LIGHT POLE |
| | UTILITY POLE |
| | WELL |
| | WETLAND FLAG |
| | SSS MAP SYMBOL |
| | SSS SOIL LINE |
| | WETLAND LINE |
| | STORM DRAIN |
| | OVERHEAD UTILITY LINE |
| | STONE WALL |



Developer
Mal-Mar, LLC
20 Summit Avenue,
Derry, NH

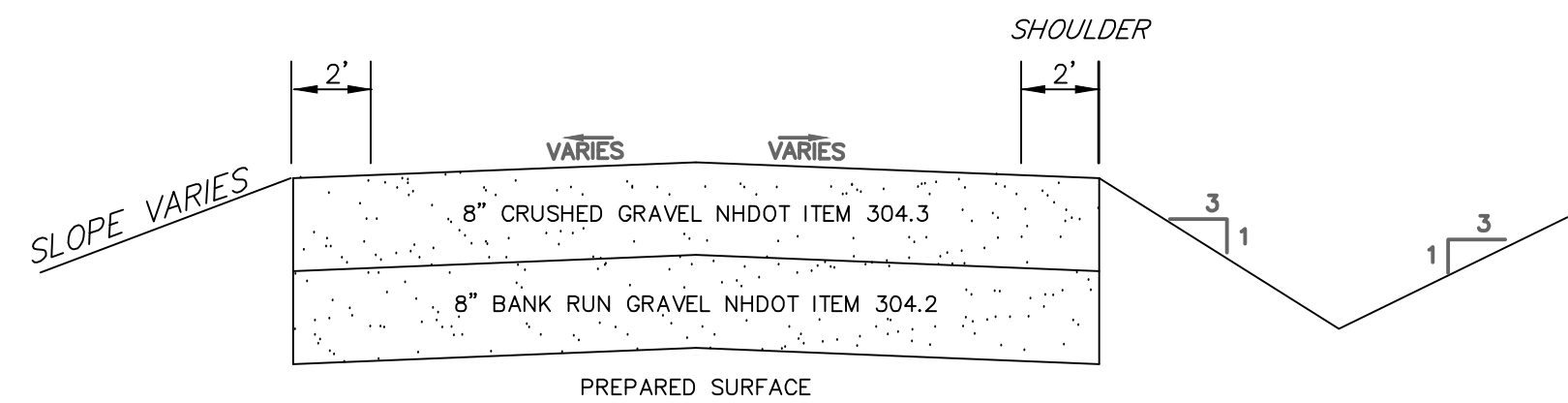
DRAINAGE GRADING AND EROSION CONTROL
SITE PLAN
TAX PARCEL 4 LOT 150C & E
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS

| DATE | DESCRIPTION | DWN BY | CK BY |
|----------|----------------------------|--------|-------|
| 03/05/20 | ADDRESS NHDES AOT COMMENTS | JR | JR |
| | | | |
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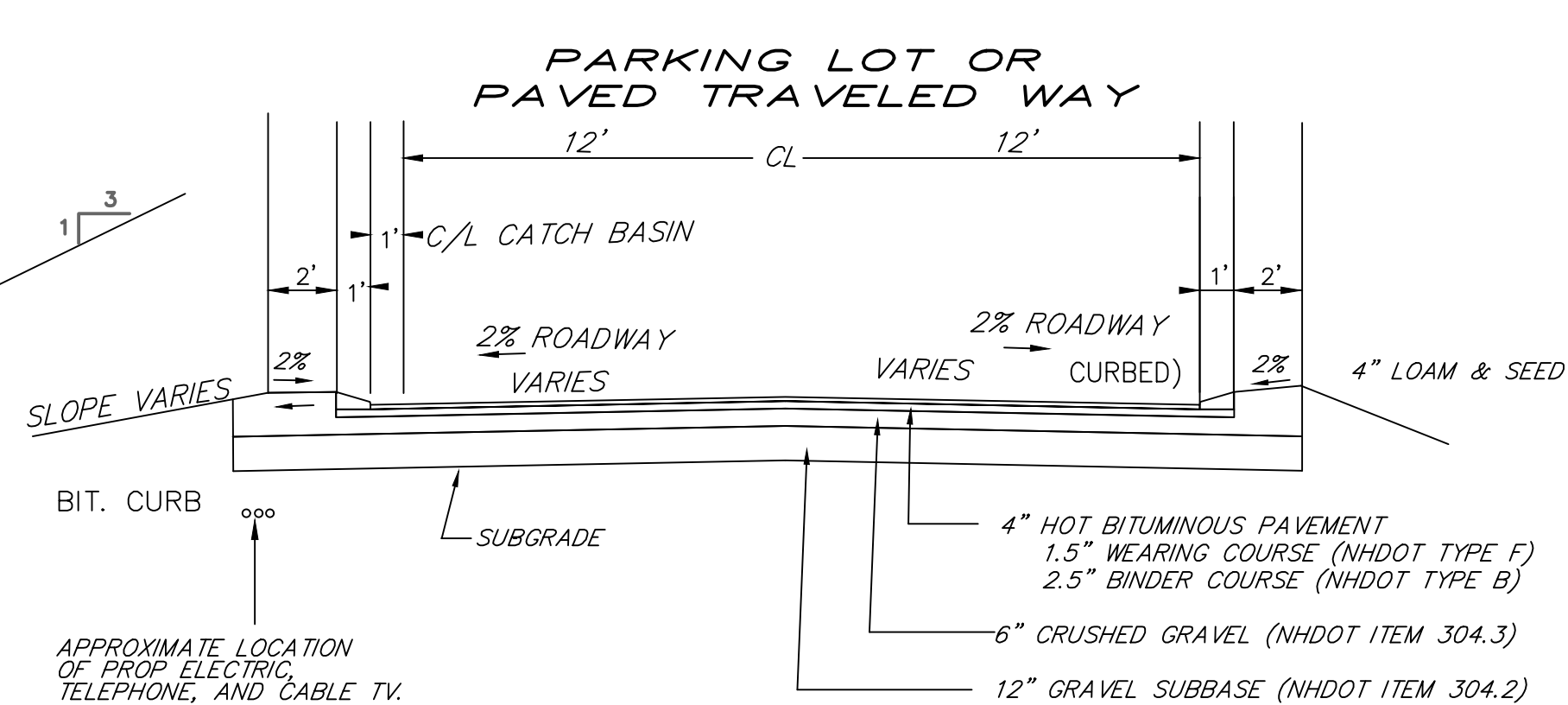
Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 40"
DATE: OCTOBER 2, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 4 OF 10



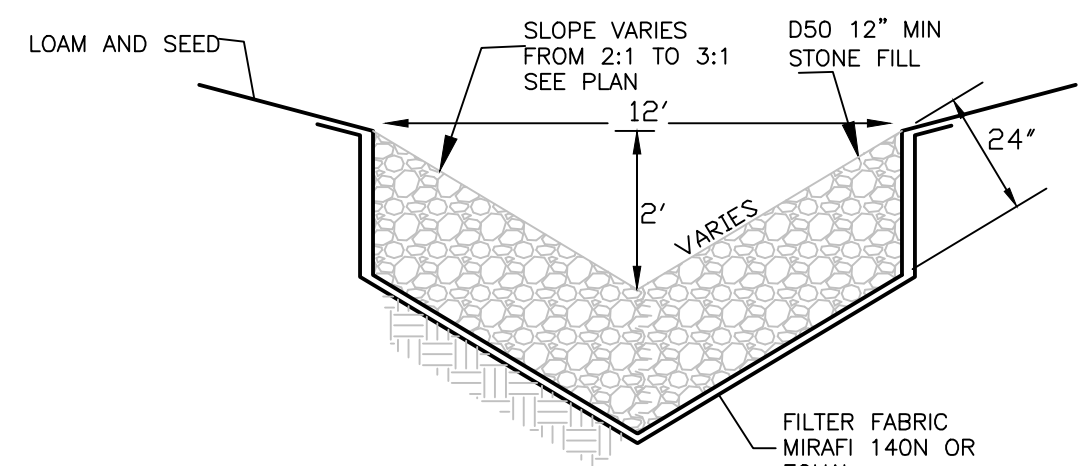
GRAVEL CONSTRUCTION YARD SECTION
(NOT TO SCALE)
GENERAL NOTES

- MINIMUM ACCEPTABLE STANDARDS FOR ALL CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDT), STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION, (AND ALL SUBSEQUENT AMENDMENTS) AND THE TOWN OF CHICHESTER REGULATIONS. DRAINAGE DESIGN IS BASED ON THE "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK VOLUME II"
- ALL ELEVATIONS AND LOCATIONS OF EXISTING UTILITY AND DRAINAGE STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO UTILIZATION OF DESIGN ELEVATIONS ON THIS PLAN.
- BACKFILL OF TRENCHES AND ALL PAVED AREAS SHALL BE COMPACTED IN ACCORDANCE WITH NH DOT-STANDARD SPECIFICATIONS-SECTION 304.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES AND SHALL PROVIDE ALL NECESSARY CONTINUOUS BARRIERS OF SUFFICIENT TYPE, SIZE AND STRENGTH TO PREVENT ACCESS TO ALL OPEN EXCAVATIONS AT THE COMPLETION OF EACH DAYS WORK.
- ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
- THE CONTRACTOR SHALL BE AWARE OF HIS RESPONSIBILITY TO CONTACT "DIG SAFE" AT 111 SO. BEDFORD STREET, BURLINGTON, MA (1-888-344-7233) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.
- SHORING AND STABILIZING OF TRENCH SIDEWALLS DURING EXCAVATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK ADJACENT TO EXISTING ELWOOD AND WEST ROAD SHALL BE PERFORMED IN WITH THE STREET OPENING REQUIREMENTS OF THE TOWN OF CHICHESTER AND NH DOT STANDARD SPECIFICATIONS.
- ALL CULVERTS, DRAINAGE STRUCTURES AND ROAD CONSTRUCTION SHALL BE SUBJECT TO PARTIAL AND FINAL INSPECTION PRIOR TO ACCEPTANCE BY THE TOWN OF CHICHESTER. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING INSPECTION BY THE TOWN ENGINEER.
- UTILITY PLANS SHALL BE SUBMITTED TO THE TOWN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 4" TOPSOIL AND SEED OVER ALL DISTURBED UNPAVED AREAS UNLESS OTHERWISE SPECIFIED.
- CORRUGATED PLASTIC PIPE (CPP) WITH SMOOTH INTERIOR - ADS N-12 OR APPROVED EQUAL MAY BE SUBSTITUTED FOR REINFORCED CONCRETE DRAINAGE PIPE (RCP) WITH APPROVAL OF THE CHICHESTER DEPARTMENT OF PUBLIC WORKS AND TOWN ENGINEER.
- CONCRETE END SECTIONS, (FLARED ENDS) SHALL COMPLY WITH NHDT STANDARD SPECIFICATIONS, HIGHWAY DESIGN MANUAL, PLATES 5 & 6, OF STANDARD 11 DATED 1979 AND ALL SUBSEQUENT AMENDMENTS.
- ALL DRIVEWAY GRADING IS SUBJECT TO DEPARTMENT OF PUBLIC WORKS REVIEW PRIOR TO DRIVEWAY CONSTRUCTION ON INDIVIDUAL LOTS. DRIVEWAY CULVERTS, LOCATED OUTSIDE OF THE TOWNS RIGHT OF WAY, MAY BE NECESSARY DEPENDING ON THE ACTUAL PROPOSED LOT DEVELOPMENT.
- ALL PAVEMENT MARKERS SHOWN CONFORM TO THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARDS PLANS FOR ROAD AND BRIDGE CONSTRUCTION.



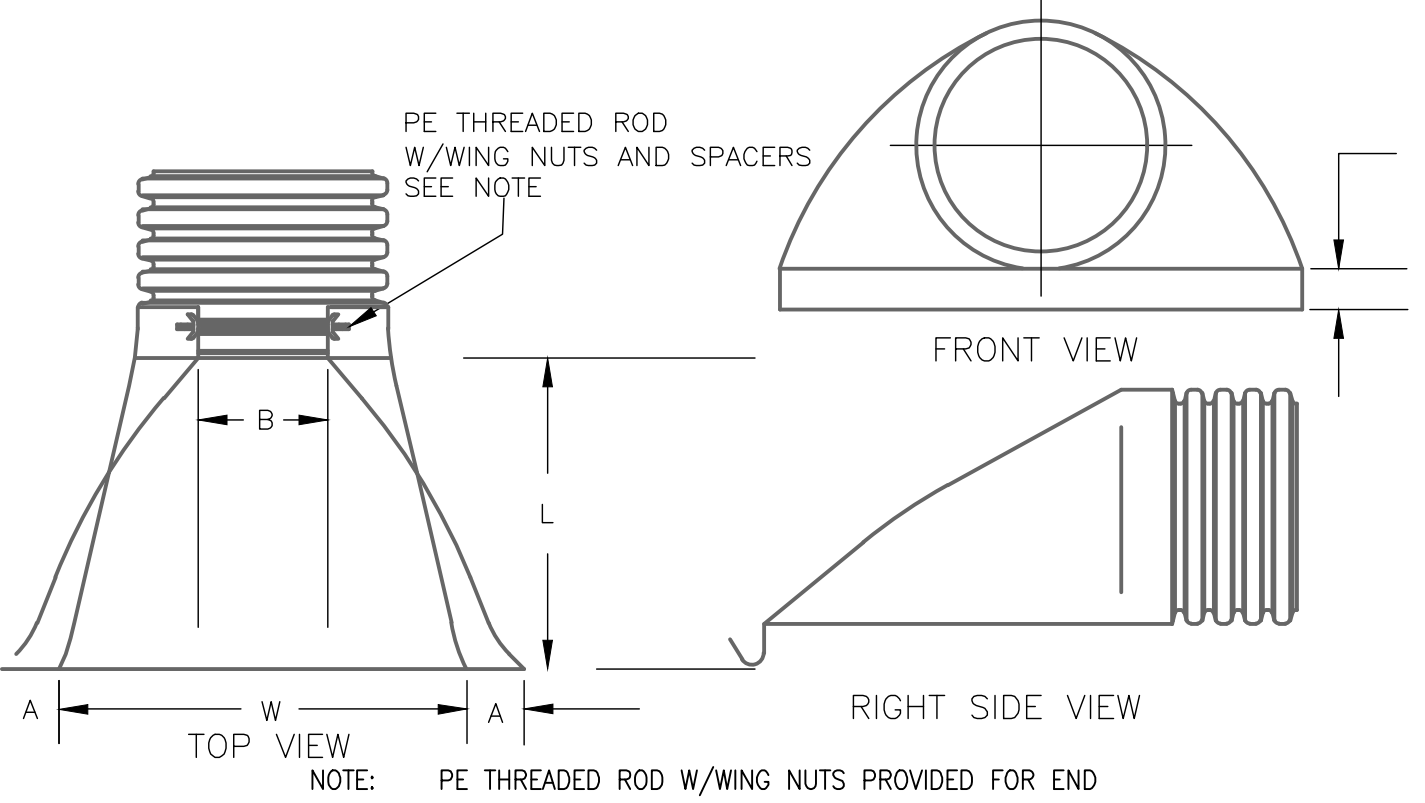
- NOTES**
- ALL ROADWAY CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE LATEST N.H.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2010 INCLUDING SUBSEQUENT AMENDMENTS AND EDITIONS.
 - PROVIDE 4" (MIN.) COMPACTED LOAM AND SEED ON ALL SIDE SLOPES AND DRAINAGE SWALES UNLESS OTHERWISE NOTED.
 - ALL LEDGE AND ROCK SHALL BE REMOVED TO 6" BELOW SUBGRADE.
 - ROADWAY UNDERDRAIN SHALL BE PROVIDED IN ALL CUT SECTIONS (AT SIDE WITH CUT) AND WHERE SEASONAL HIGH WATER IS WITHIN FOUR (4) FEET OF FINISHED GRADE IN ALL OTHER AREAS. UNDERDRAIN SHALL HAVE A MINIMUM OF FOUR (4) FEET OF COVER.

TYPICAL ROADWAY SECTION
(NOT TO SCALE)

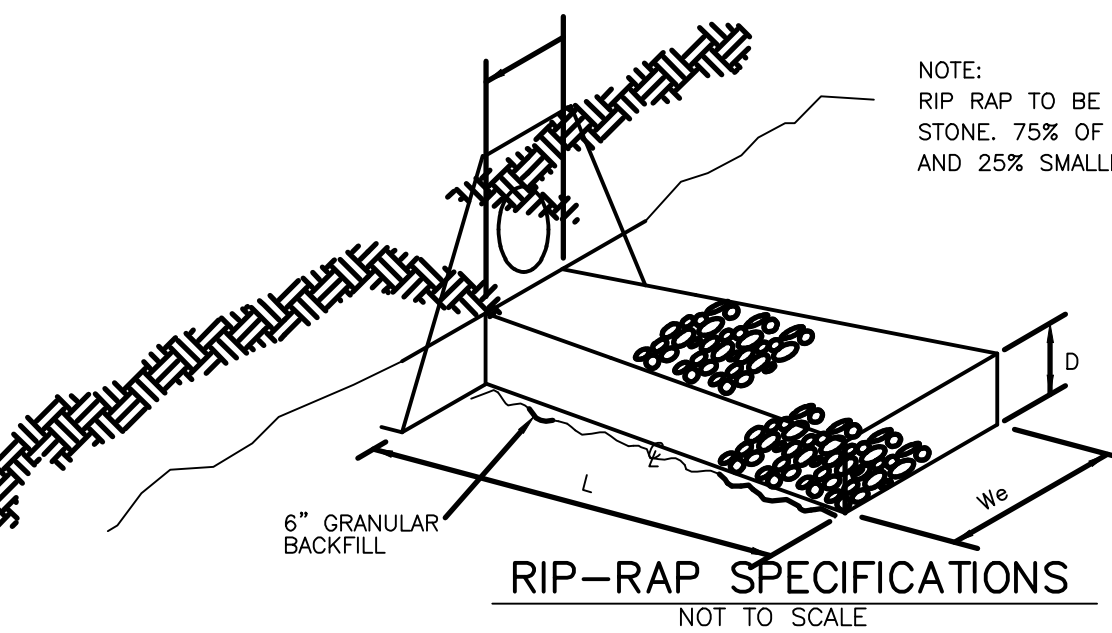


TYPICAL STONE LINED SWALE
(NOT TO SCALE)

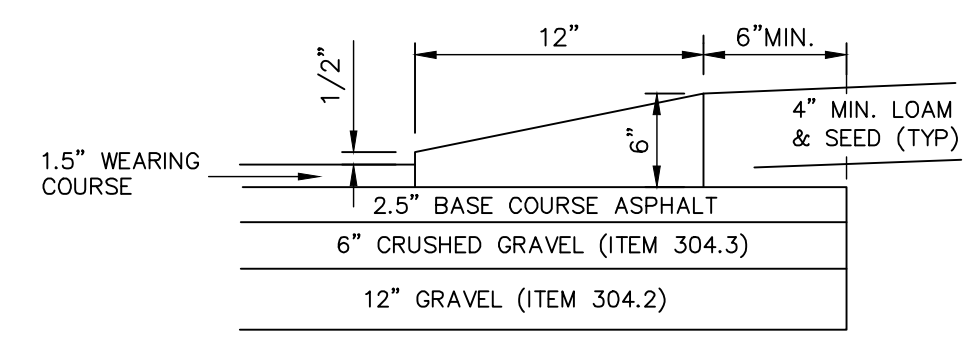
| D-50 RIPRAP GRADATION POND DET POND 2 AREA | | THICKNESS (D) |
|--|--|----------------|
| % OF PASSING | REQUIRED RIPRAP GRADATION FOR D50 SELECTED | |
| 100 | 18" TO 24" | 1.5x(D-50 MAX) |
| 85 | 15.6" TO 21.6" | |
| 50 | 12" TO 18" | |
| 15 | 9.6" TO 15.6" | |



| PART # | PIPE SIZE | A | B (MAX) | H | L |
|--------|-----------|---------|----------|---------|----------|
| 1210NP | 12 IN | 6.50 IN | 10.00 IN | 6.50 IN | 25.00 IN |
| 1510NP | 15 IN | 6.50 IN | 10.00 IN | 6.50 IN | 25.00 IN |
| 1810NP | 18 IN | 7.50 IN | 15.00 IN | 6.50 IN | 32.00 IN |
| 2410NP | 24 IN | 7.50 IN | 18.00 IN | 6.50 IN | 36.00 IN |
| 3015NP | 30 IN | 7.50 IN | 12.00 IN | 8.60 IN | 58.00 IN |
| 3615NP | 36 IN | 7.50 IN | 25.00 IN | 8.60 IN | 58.00 IN |

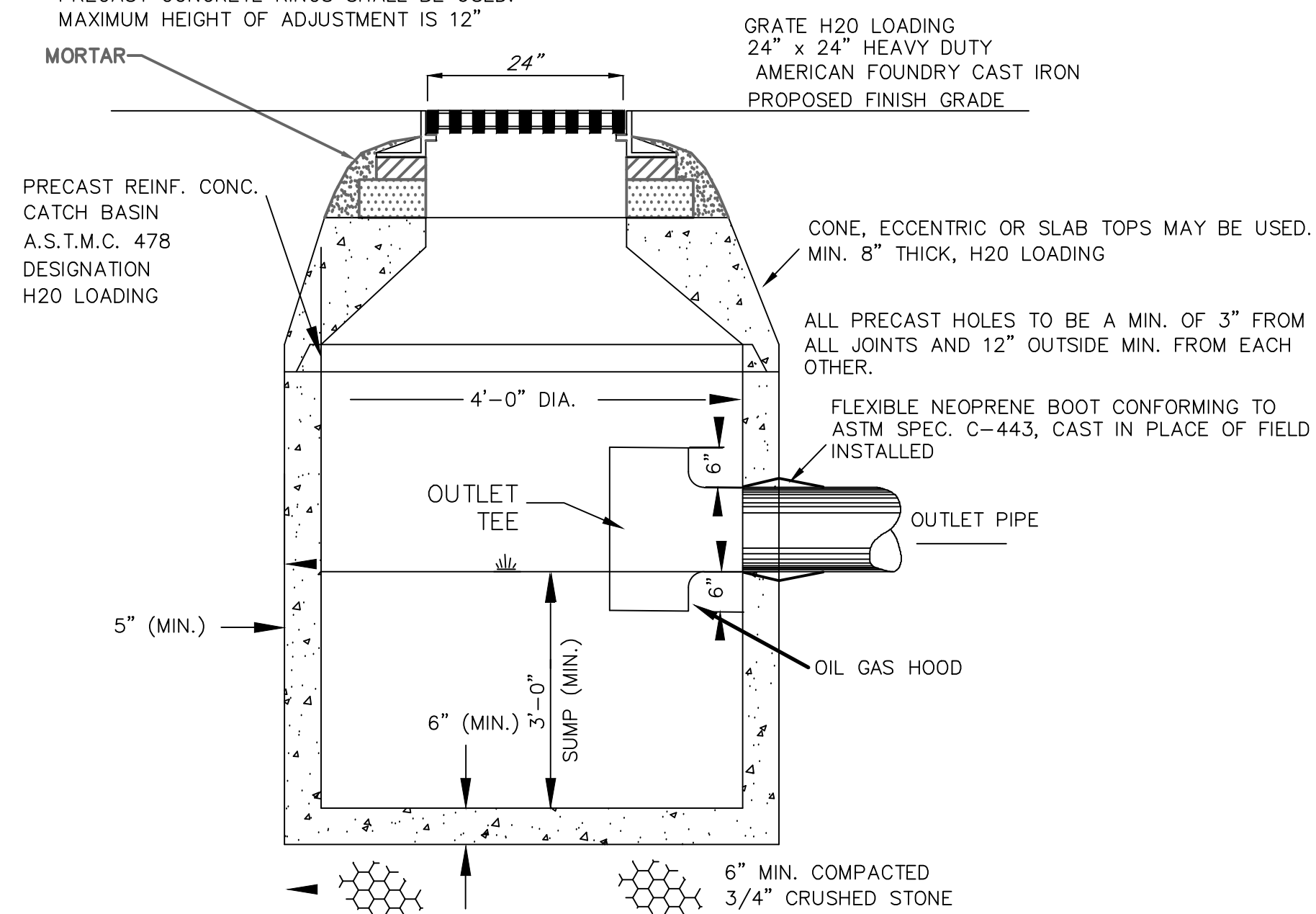


RIP-RAP SPECIFICATIONS
(NOT TO SCALE)



- NOTE**
- APPLY TACK COAT PRIOR TO PLACEMENT OF CURB.
 - BITUMINOUS CURB MATERIAL SHALL MEET THE REQUIREMENTS OF NHDT SECTION 609.
 - CAPE COD BERM DIMENSIONS SHALL MATCH THOSE GIVEN IN THIS DETAIL.

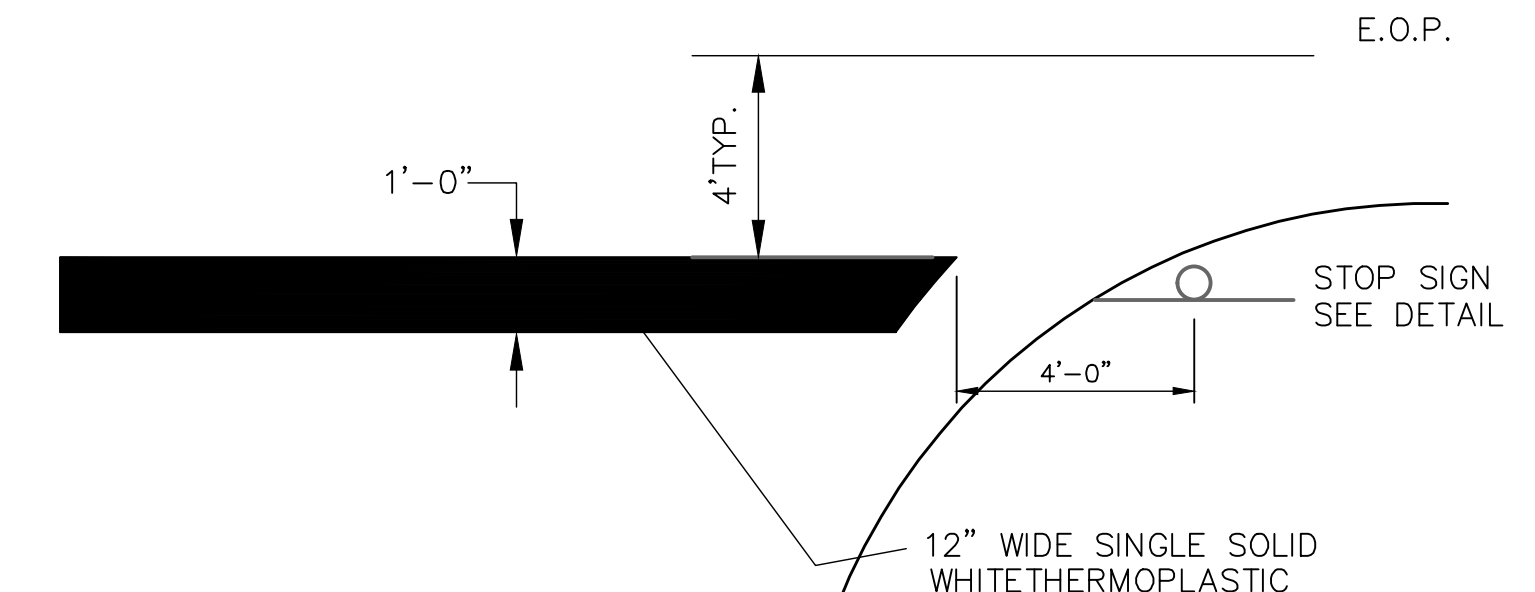
TYPICAL CAPE COD BERM
(NOT TO SCALE)



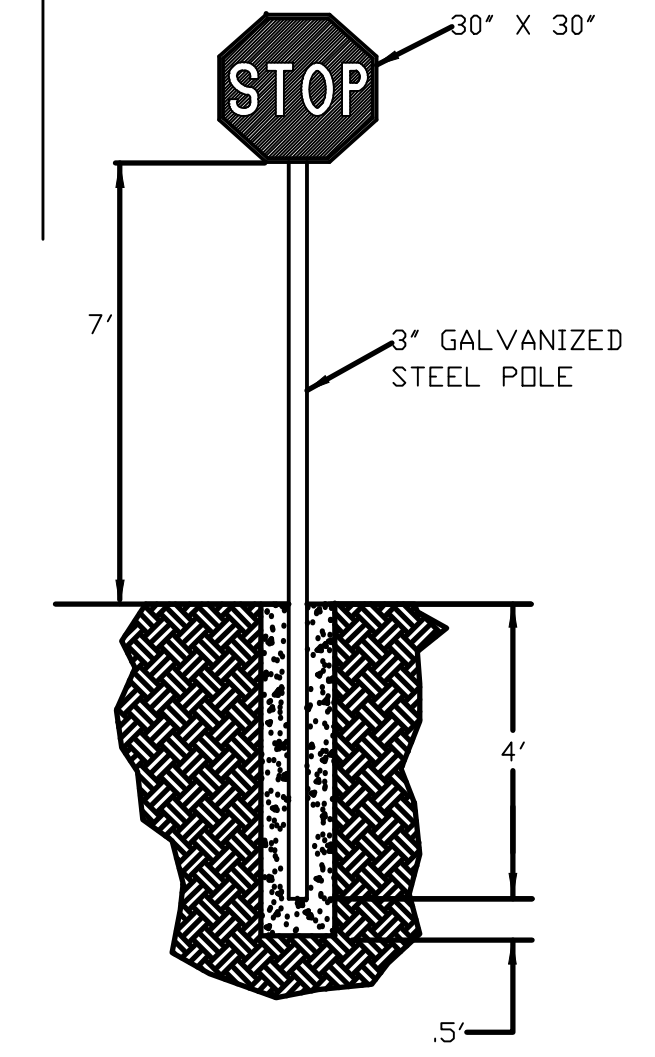
TYPICAL PRECAST OUTLET STRUCTURE & CATCH BASIN DETAIL
(NOT TO SCALE)

- NOTES :**
- ALL DRAIN PIPE SHALL BE ADS N-12 CORRUGATED PLASTIC PIPE (CPP), UNLESS OTHERWISE NOTED IN THE DRAWINGS.
 - SELECT SAND TO 12" ABOVE PIPE SHALL BE AS FOLLOWS :
A. 100% PASSING A 1/2 INCH SIEVE
B. 15%(MAX) PASSING A NO. 200 SIEVE
C. FREE FROM ORGANIC MATERIALS
 - ALL WATER PIPE TO BE CLASS 52 DUCTILE IRON.
 - ALL SEWER TO BE SDR 35 PVC.

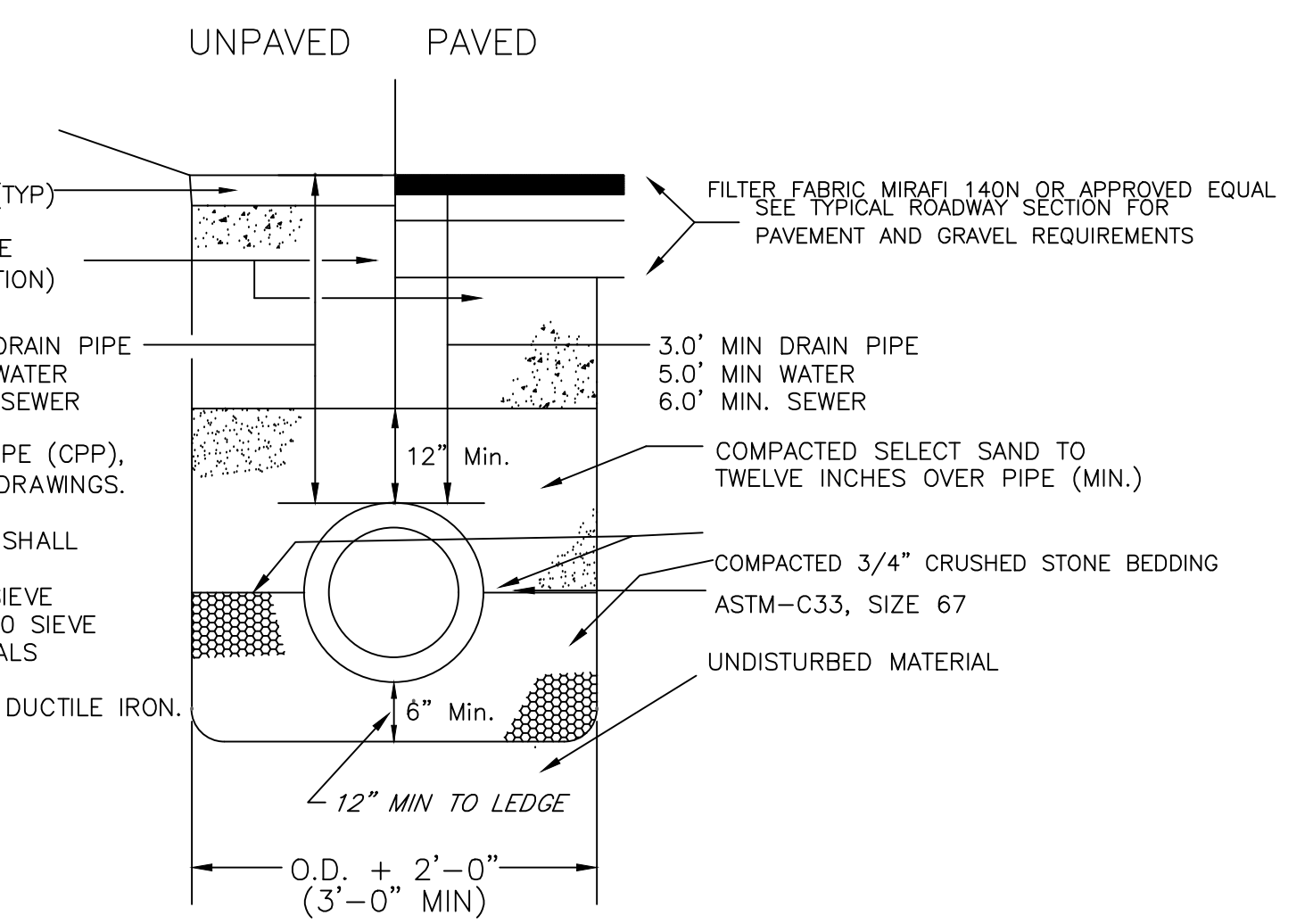
| DESCRIPTION | LENGTH L | INVERT WIDTH Wi | END WIDTH We | STONE D50 | DEPTH OF STONE- D |
|-------------|----------|-----------------|--------------|-----------|-------------------|
| FES 1 | 12' | 4.5' | 13' | 6" | 1.5' |
| FES 1 | 19' | 7.5' | 21' | 6" | 1.5' |
| FES 1 | 16' | 4.5' | 14' | 6" | 1.5' |
| FES 1 | 16' | 4.5' | 18' | 6" | 1.5' |
| FES 1 | 16' | 4.5' | 18' | 6" | 1.5' |



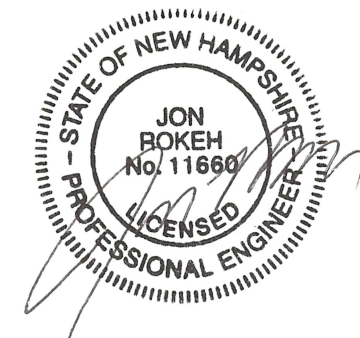
STOP BAR
(NOT TO SCALE)



STOP SIGN R1-1
(NOT TO SCALE)



TYPICAL SEWER/ DRAIN PIPE TRENCH



Developer
Mal-Mar, LLC
20 Summit Avenue,
Derry, NH

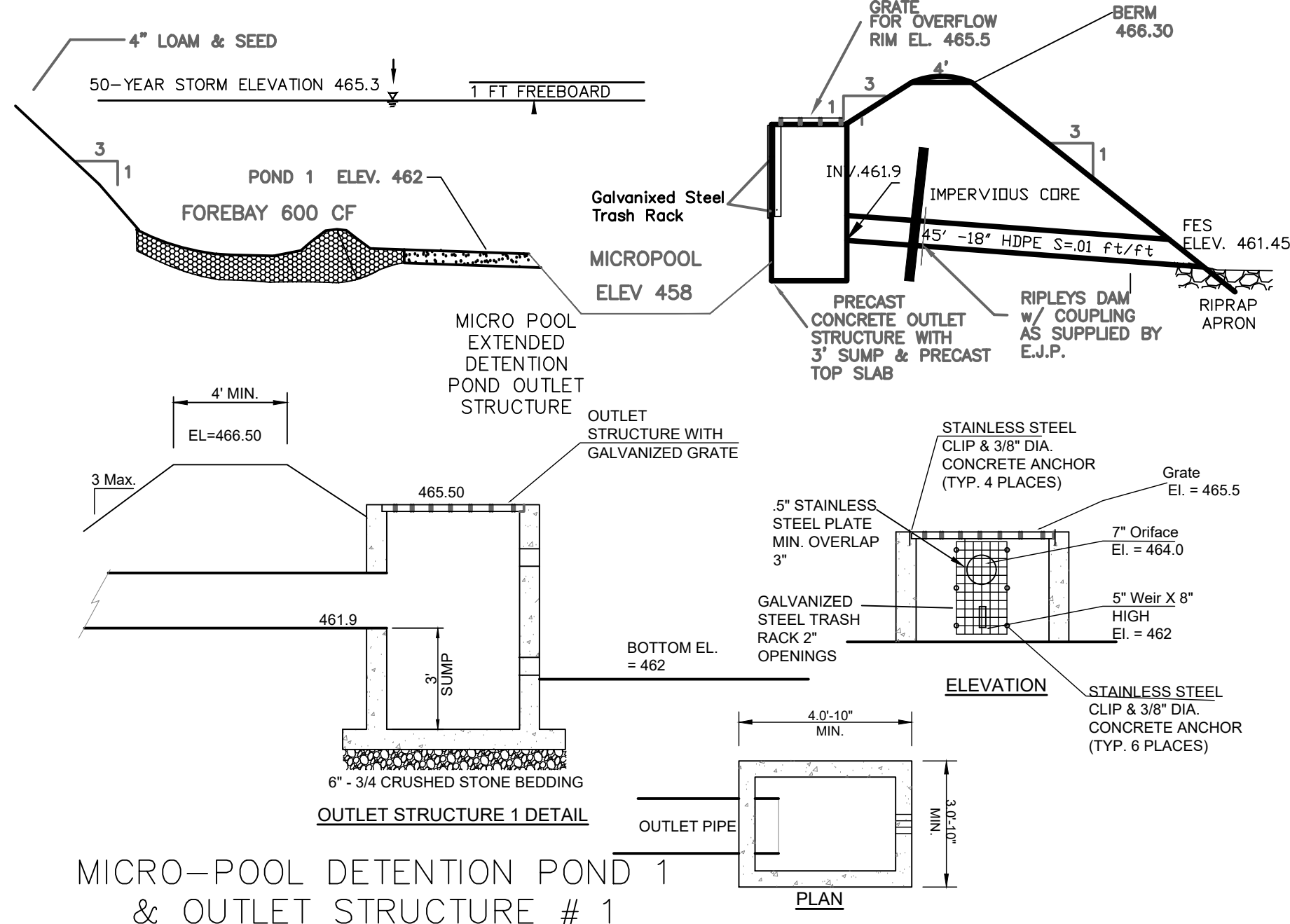
DETAILS
SITE PLAN
TAX PARCEL 4 LOT 150C & E
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS

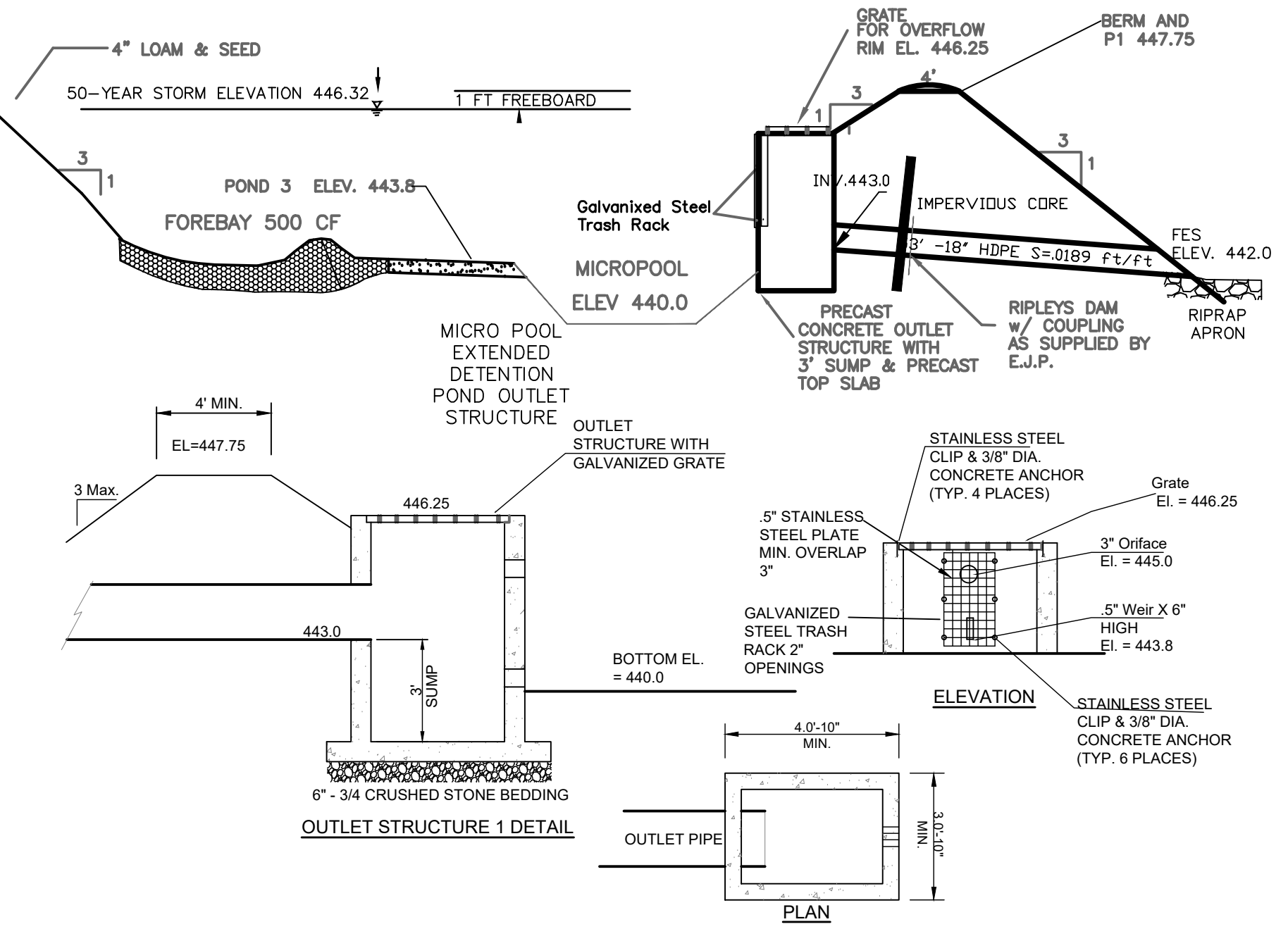
| DATE | DESCRIPTION | DWN BY | CK BY |
|----------|----------------------------|--------|-------|
| 03/05/20 | ADDRESS NHDES AOT COMMENTS | JR | JR |
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Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

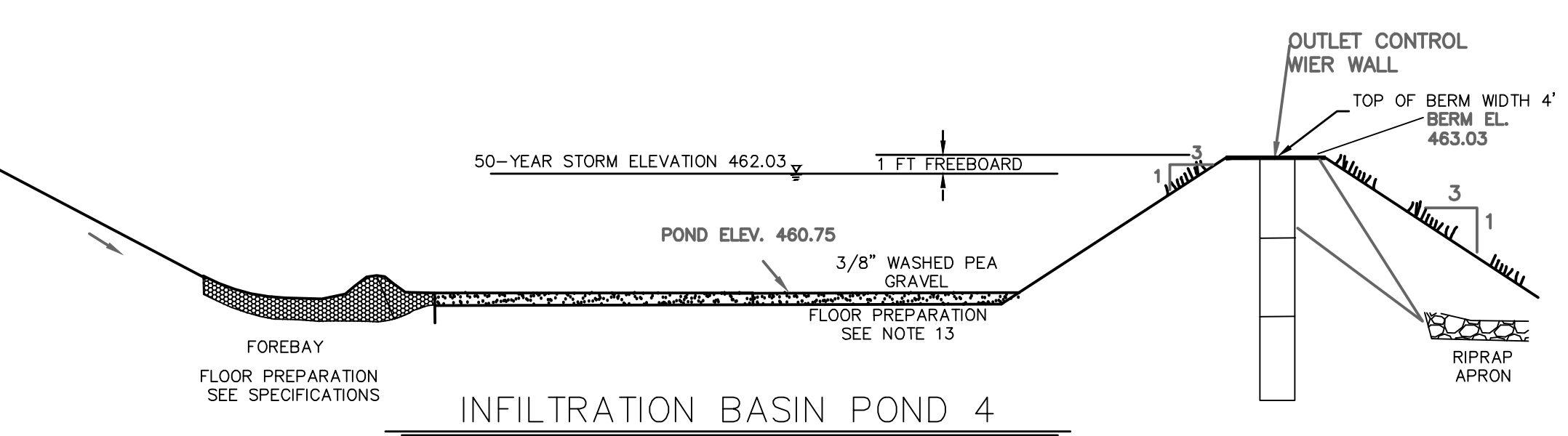
SCALE: NTS
DATE: OCTOBER 2, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 5 OF 10



MICRO-POOL DETENTION POND 1 & OUTLET STRUCTURE # 1

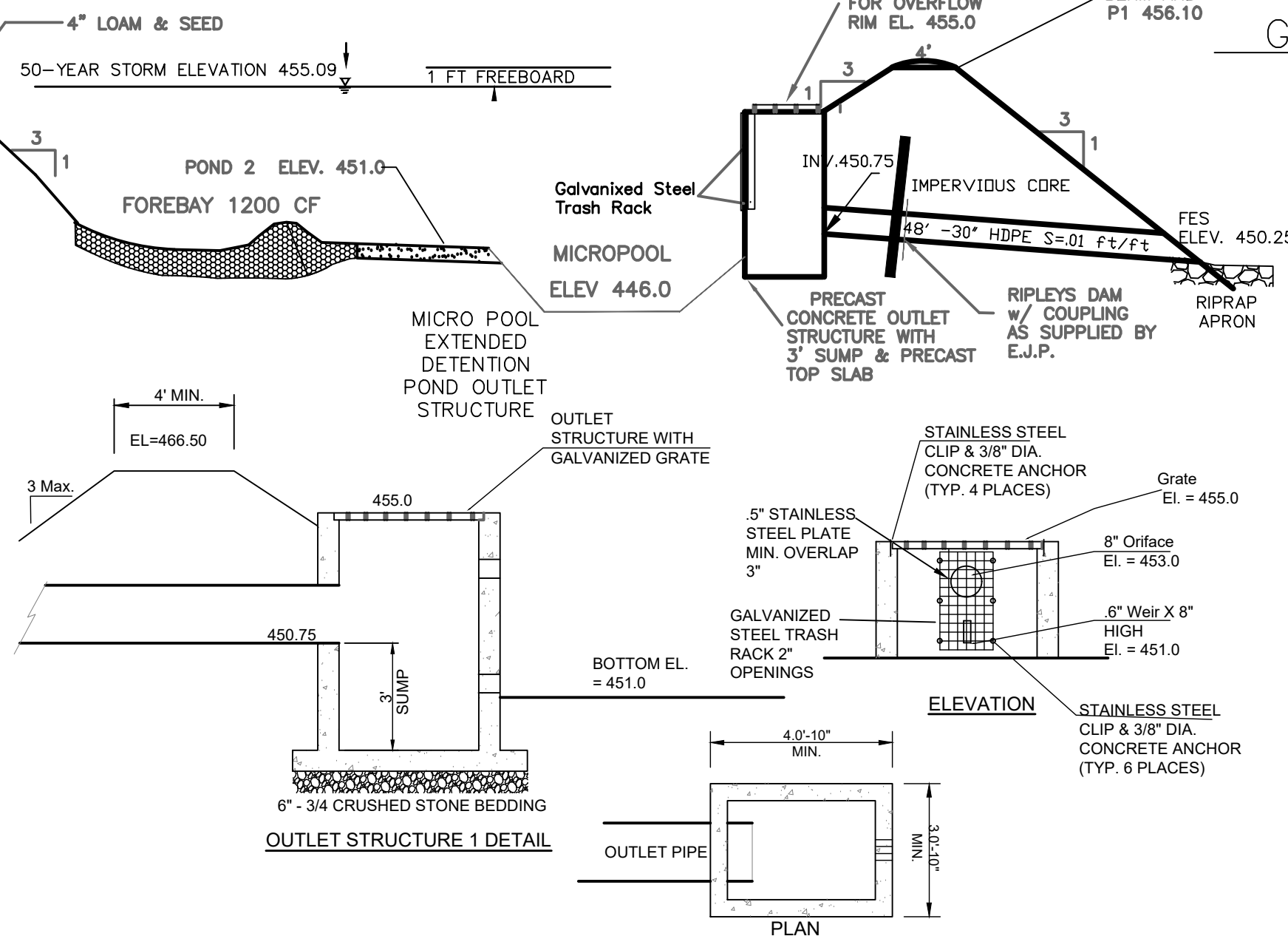


MICRO-POOL DETENTION POND 3 & OUTLET STRUCTURE # 3



INFILTRATION BASIN POND 4

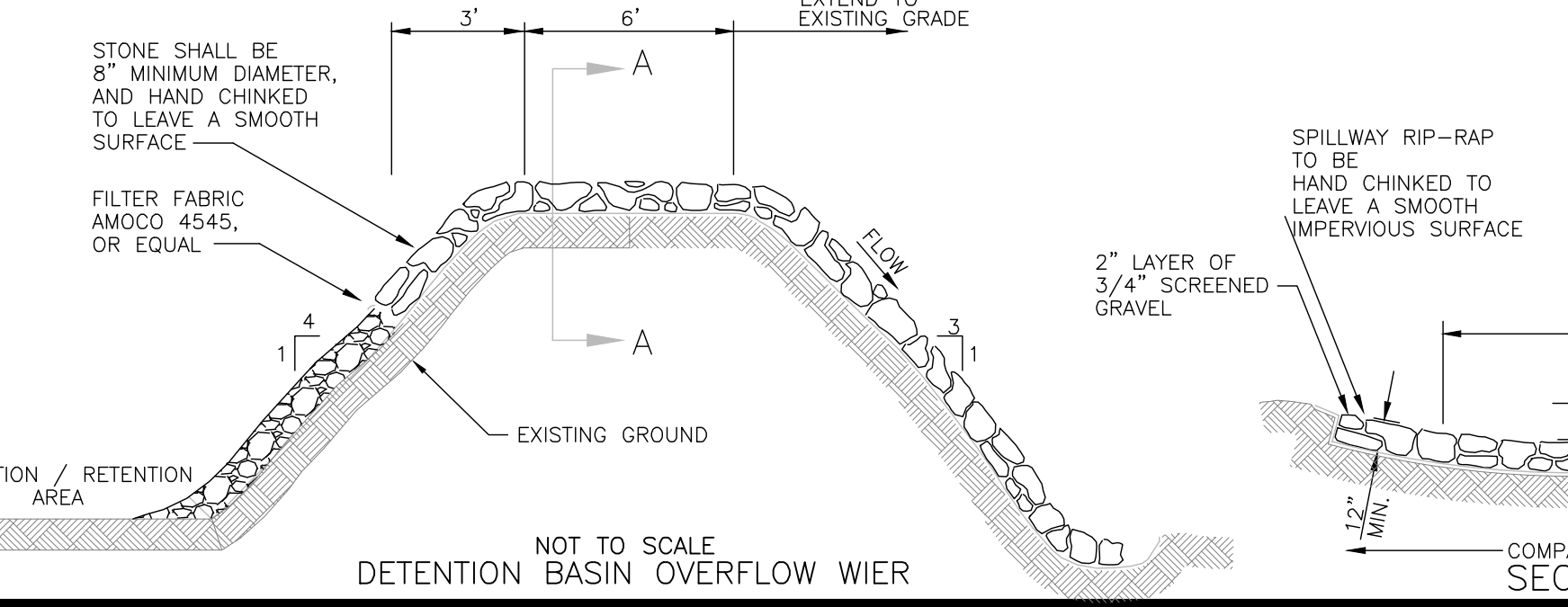
- MAINTENANCE REQUIREMENTS**
- THE INTERIOR AND EXTERIOR SIDE SLOPES, AND CREST OF EARTHEN INFILTRATION BASINS SHALL BE MOWED, AND THE VEGETATION MAINTAINED IN HEALTHY CONDITION, AS APPROPRIATE TO THE FUNCTION OF THE FACILITY AND TYPE OF VEGETATION.
 - VEGETATED EMBANKMENTS THAT SERVE AS "BERMS" THAT IMPOUND WATER SHALL BE CLEARED OF WOODY VEGETATION ONCE PER YEAR.
 - EMBANKMENTS SHALL BE INSPECTED AT LEAST ANNUALLY BY A QUALIFIED PROFESSIONAL FOR SETTLEMENT, EROSION, SEEPAGE, ANIMAL BURROWS, WOODY VEGETATION, AND OTHER CONDITIONS THAT COULD DEGRADE THE EMBANKMENT AND REDUCE ITS STABILITY FOR IMPOUNDING WATER. IMMEDIATE CORRECTIVE ACTION SHALL BE IMPLEMENTED IF ANY SUCH CONDITIONS ARE FOUND.
 - INLET AND OUTLET PIPES, INLET AND OUTLET STRUCTURES, ENERGY DISSIPATION STRUCTURES OR PRACTICES, AND OTHER STRUCTURAL APPURTENANCES SHALL BE INSPECTED AT LEAST ANNUALLY BY A QUALIFIED PROFESSIONAL, AND CORRECTIVE ACTION IMPLEMENTED (E.G., MAINTENANCE, REPAIRS, OR REPLACEMENT) AS INDICATED BY SUCH INSPECTION.
 - TRASH AND DEBRIS SHALL BE REMOVED FROM THE BASIN AND ANY INLET OR OUTLET STRUCTURES WHENEVER OBSERVED BY INSPECTION.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT SIGNIFICANTLY AFFECTS BASIN INFILTRATION CAPACITY.
- SPECIFICATIONS**
- PONDS SHALL BE CONSTRUCTED IN THE INITIAL STAGES OF CONSTRUCTION.



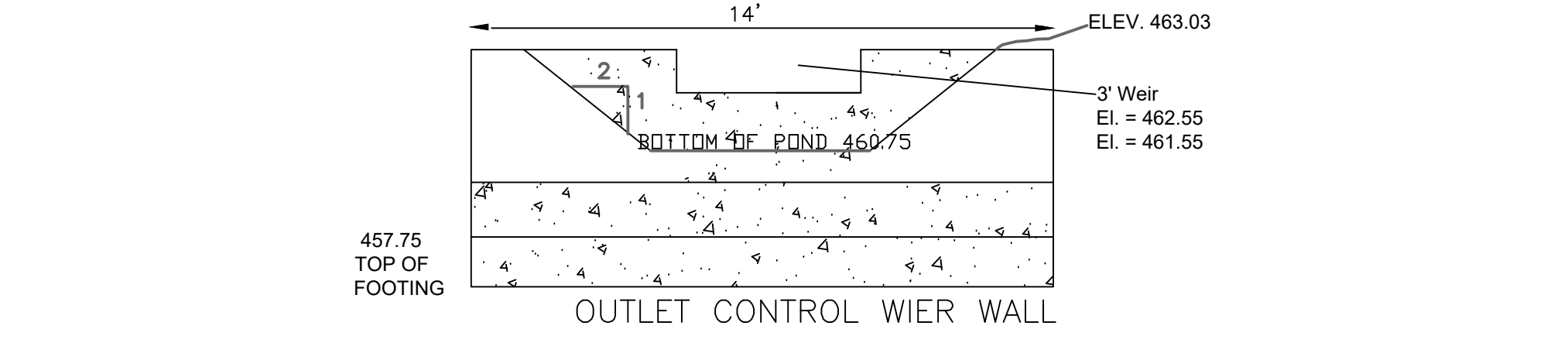
MICRO-POOL DETENTION POND 2 & OUTLET STRUCTURE # 2

- GENERAL NOTES**
- THE INTERIOR AND EXTERIOR SIDE SLOPES, AND CREST OF EARTHEN BASINS SHALL BE MOWED, AND THE VEGETATION MAINTAINED IN HEALTHY CONDITION, AS APPROPRIATE TO THE FUNCTION OF THE FACILITY AND TYPE OF VEGETATION.
 - VEGETATED EMBANKMENTS THAT SERVE AS "BERMS" THAT IMPOUND WATER SHALL BE CLEARED OF WOODY VEGETATION ONCE PER YEAR.
 - EMBANKMENTS SHALL BE INSPECTED AT LEAST ANNUALLY BY A QUALIFIED PROFESSIONAL FOR SETTLEMENT, EROSION, SEEPAGE, ANIMAL BURROWS, WOODY VEGETATION, AND OTHER CONDITIONS THAT COULD DEGRADE THE EMBANKMENT AND REDUCE ITS STABILITY FOR IMPOUNDING WATER. IMMEDIATE CORRECTIVE ACTION SHALL BE IMPLEMENTED IF ANY SUCH CONDITIONS ARE FOUND.
 - INLET AND OUTLET PIPES, INLET AND OUTLET STRUCTURES, ENERGY DISSIPATION STRUCTURES OR PRACTICES, AND OTHER STRUCTURAL APPURTENANCES SHALL BE INSPECTED AT LEAST ANNUALLY BY A QUALIFIED PROFESSIONAL, AND CORRECTIVE ACTION IMPLEMENTED (E.G., MAINTENANCE, REPAIRS, OR REPLACEMENT) AS INDICATED BY SUCH INSPECTION.
 - TRASH AND DEBRIS SHALL BE REMOVED FROM THE BASIN AND ANY INLET OR OUTLET STRUCTURES WHENEVER OBSERVED BY INSPECTION.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED FROM MICRO POOLS AND INFILTRATION BASIN WHEN IT SIGNIFICANTLY AFFECTS BASIN INFILTRATION CAPACITY.
 - PONDS SHALL BE CONSTRUCTED IN THE INITIAL STAGES OF CONSTRUCTION.

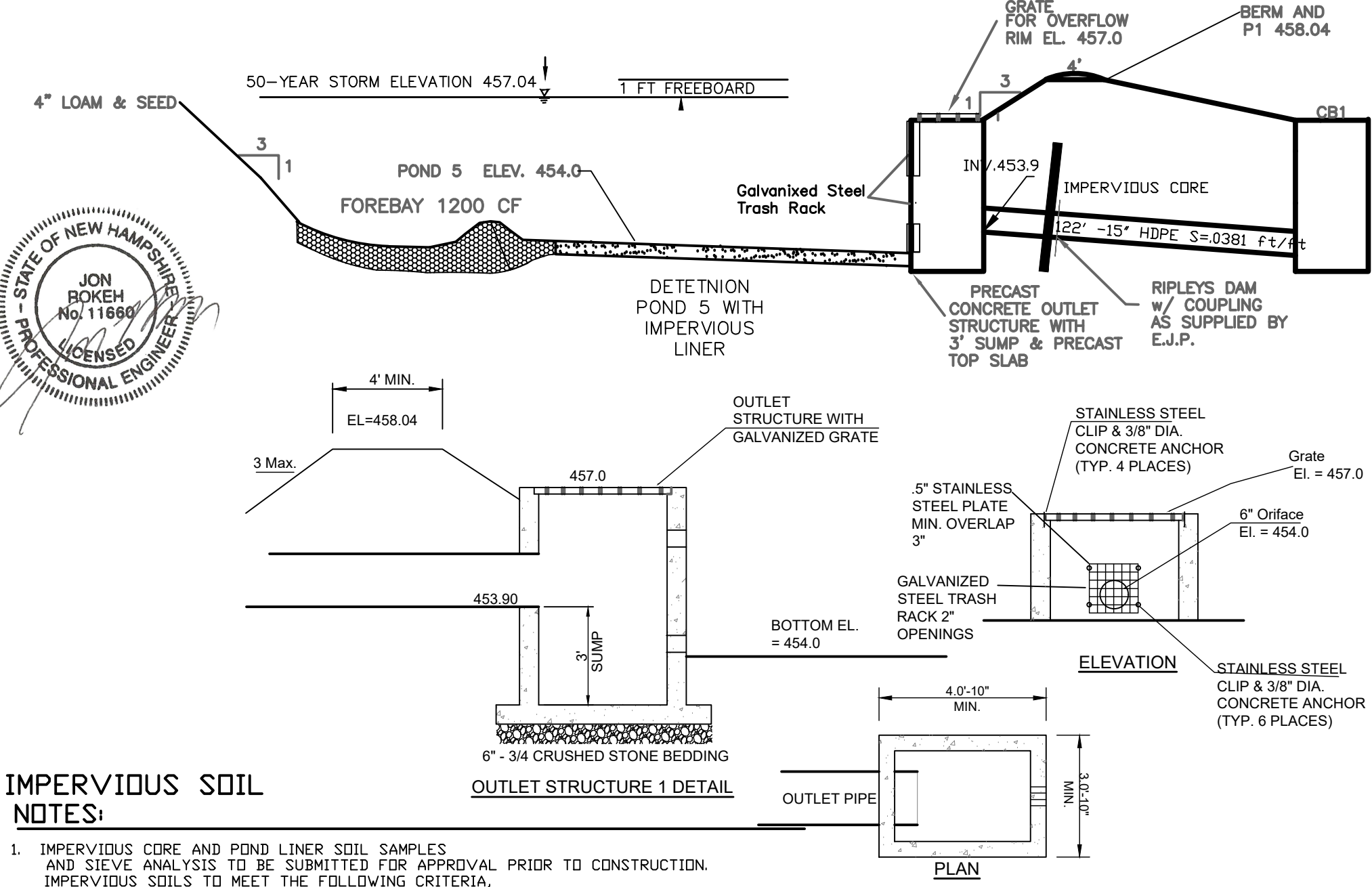
- FOUNDATION PREPARATION** - THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED SLOPES AND SPILLWAYS. FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IS SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS.
- FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.
- FILL PLACEMENT** - THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.
- SELECTED BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING.
- THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL.
- THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MOST IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
- MOISTURE CONTROL** - THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
- COMPACTION** - CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION.
- IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY.
- FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS.
- PROTECTION** - A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRELUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH MULCHES OR GRAVEL, MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OR PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.
- SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMPs.
- INFILTRATION BASIN FLOOR CONSTRUCTION** - THE BASIN FLOOR SHALL NOT BE TRAFFICED WITH CONSTRUCTION EQUIPMENT. ONCE THE BASIN IS EVACUATED TO THE FINAL DESIGN ELEVATION THE FLOOR SHALL BE DEEPLY TILLED TO RESTORE THE INFILTRATION RATE. ONCE TILLED THE AREA CAN BE PASSED WITH A LEVELING DRAG. THE FLOOR SHALL RECEIVE A 6" LAYER OF VERY CLEAN COARSE SAND OR 3/8" WASHED PEA GRAVEL.



NOT TO SCALE
DETENTION BASIN OVERFLOW WIER



OUTLET CONTROL WIER WALL



DETENTION POND 5 OUTLET STRUCTURE DETAIL

IMPERVIOUS SOIL NOTES:

- IMPERVIOUS CORE AND POND LINER SOIL SAMPLES AND SIEVE ANALYSIS TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION. IMPERVIOUS SOILS TO MEET THE FOLLOWING CRITERIA, SOIL SHALL HAVE NO ORGANIC MATTER OR FROZEN MATERIAL AND NO STONES LARGER THAN 2/3 OF THE MAXIMUM LIFT SIZE. STONES AROUND ANY STRUCTURES AND/OR CONDUITS SHALL NOT EXCEED 3 INCHES. FILL MATERIAL SHALL HAVE THE FOLLOWING GRADATION:

| SIEVE SIZE | % PASSING |
|------------|-----------|
| #4 | 95 - 100 |
| #40 | 60 - 90 |
| #100 | 40 - 60 |
| #200 | 25 - 45 |
- THE CONTRACTOR SHALL USE CARE NOT TO OVER EXCAVATE AND DISTURB THE EXISTING SOIL AT THE BERM AND OUTLET PIPE AREAS.
- IMPERVIOUS SOIL SHALL BE INSTALLED WITHIN THE LIMITS SHOWN ALONG THE BERM AREA. THE SOIL SHALL BE KEYPED 12" INTO THE BOTTOM OF THE POND AND SHALL BE PLACED IN LIFTS NOT EXCEEDING 9" AND COMPACTED TO A MINIMUM 95% OF THE WET WEIGHT AS DETERMINED BY MODIFIED TESTING (ASTM 1557)
- AT THE IMPERVIOUS DAM AREA, THE DAM SHALL BE KEYPED INTO TO BOTTOM AND SIDES OF THE TRENCH A MINIMUM OF 2'. THE IMPERVIOUS SOIL SHALL BE PLACED IN LIFTS NOT EXCEEDING 9" AND COMPACTED A MINIMUM 95% OF THE WET WEIGHT AS DETERMINED BY MODIFIED TESTING (ASTM 1557)

MICRO-POOL AND DETENTION POND SEEDING REQUIREMENTS

SEEDING REQUIREMENTS
PONDS WILL BE SEEDED WITH NEW ENGLAND WETLAND WETMIX (WETLAND SEED MIX) PROVIDED BY NEW ENGLAND WETLAND PLANTS, INC New England Wetmix (Wetland Seed Mix) 820 WEST STREET, AMHERST, MA 01002 PHONE: 413-548-8000 FAX 413-549-4000 EMAIL: INFO@NEWPC.COM WEB ADDRESS: WWW.NEWP.COM

Developer
Mal-Mar, LLC
20 Summit Avenue,
Derry, NH

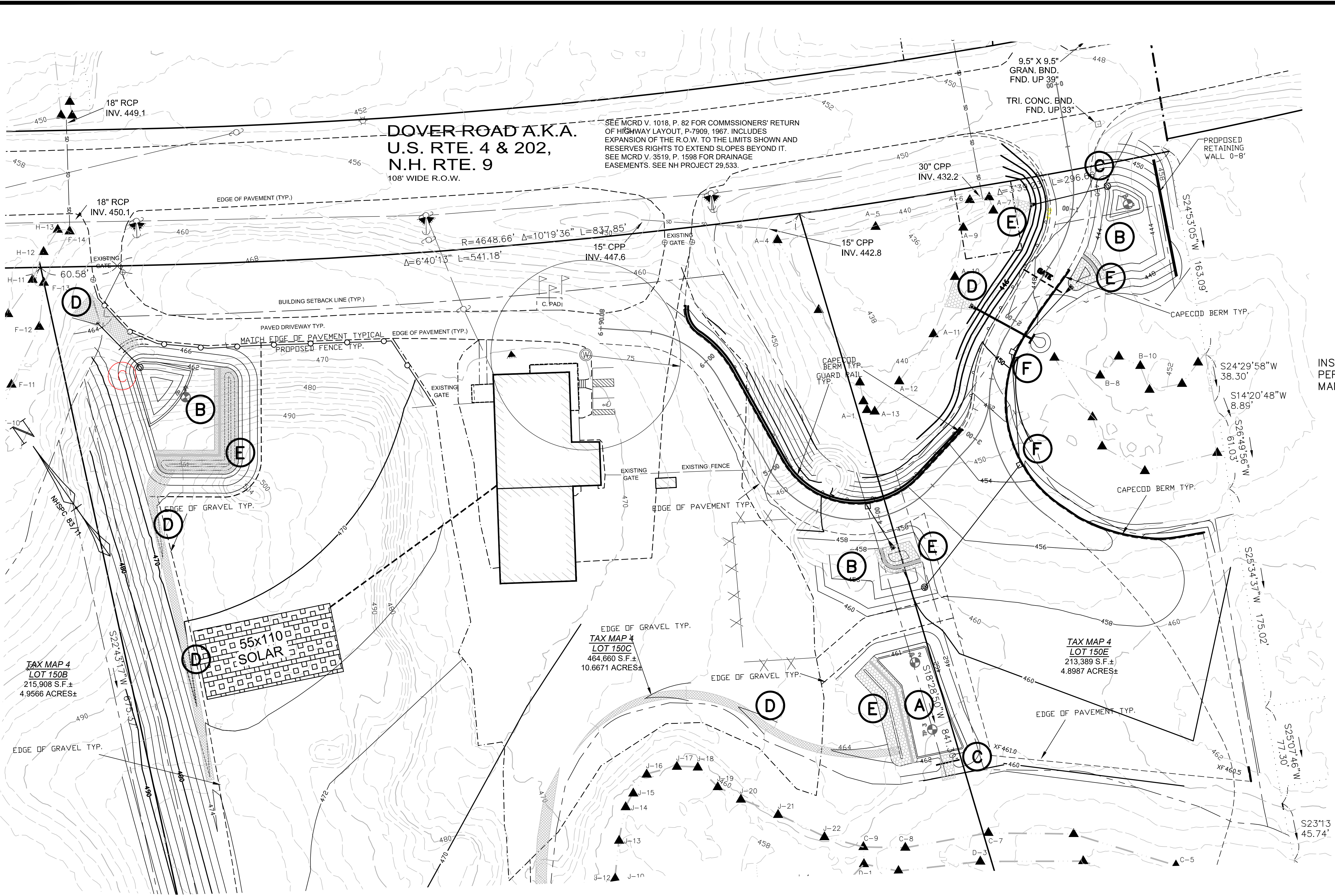
DETAILS
SITE PLAN
TAX PARCEL 4 LOT 150C & E
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS

| DATE | DESCRIPTION | DWN BY | CK BY |
|----------|----------------------------|--------|-------|
| 03/05/20 | ADDRESS NHDES AOT COMMENTS | JR | JR |
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Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: NTS
DATE: OCTOBER 2, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 6 OF 10



**DOVER ROAD A.K.A.
U.S. RTE. 4 & 202,
N.H. RTE. 9**
108' WIDE R.O.W.

SEE MCRD V. 1018, P. 82 FOR COMMISSIONERS' RETURN OF HIGHWAY LAYOUT, P-7909, 1967. INCLUDES EXPANSION OF THE R.O.W. TO THE LIMITS SHOWN AND RESERVES RIGHTS TO EXTEND SLOPES BEYOND IT. SEE MCRD V. 3519, P. 1598 FOR DRAINAGE EASEMENTS. SEE NH PROJECT 29,533.

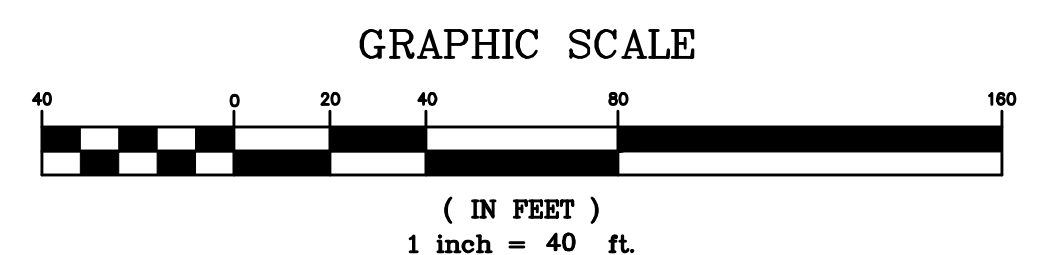
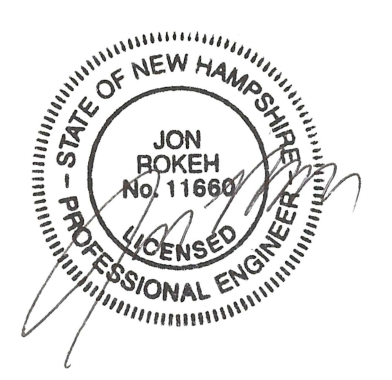
SYMBOL LEGEND

- IRON PIPE FOUND
- ⊙ DRILL HOLE
- ⊛ LIGHT POLE
- ⊞ UTILITY POLE
- ⊕ WELL
- ▲ WETLAND FLAG
- ⊙ SSS MAP SYMBOL
- SSS SOIL LINE
- WETLAND LINE
- STORM DRAIN
- OVERHEAD UTILITY LINE
- STONE WALL

NOTES

INSPECTION AND MAINTENANCE TO BE PERFORMED PER THE MOST CURRENT INSPECTION AND MAINTENANCE MANUAL ON FILE WITH THE TOWN OF CHICHESTER

- (A) INFILTRATION POND
- (B) DETENTION POND
- (C) OUTLET STRUCTURE
- (D) ROCK RIP RAP CONTROL
- (E) FOREBAY
- (F) DEEP SUMP CATCH BASIN



Developer
Mal-Mar, LLC
20 Summit Avenue,
Derry, NH

OPERATION AND MAINTENANCE PLAN
SITE PLAN
TAX PARCEL 4 LOT 150C & E
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

| REVISIONS | | | | |
|-----------|----------------------------|--------|-------|--|
| DATE | DESCRIPTION | DWN BY | CK BY | |
| 03/05/20 | ADDRESS NHDES AOT COMMENTS | JR | JR | |
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Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 40"
DATE: OCTOBER 2, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 9 OF 10

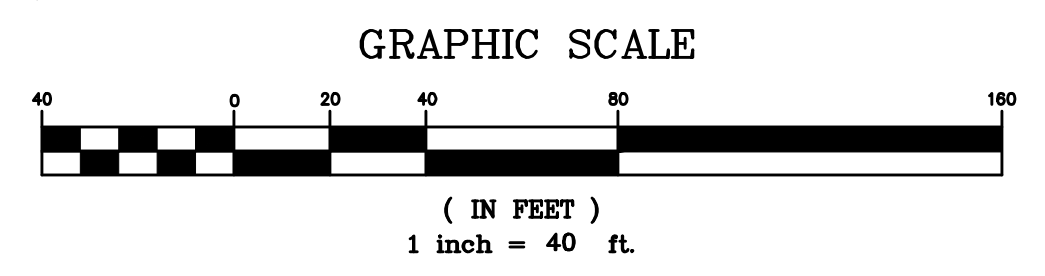
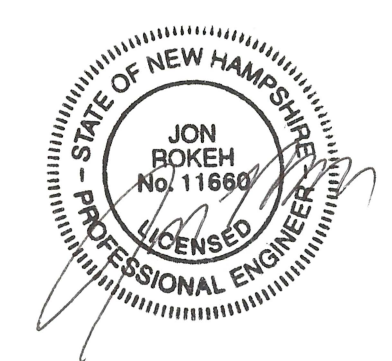


SYMBOL LEGEND

| | |
|--|-----------------------|
| | IRON PIPE FOUND |
| | DRILL HOLE |
| | LIGHT POLE |
| | UTILITY POLE |
| | WELL |
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NOTES
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- (A)** INFILTRATION POND
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- (D)** ROCK RIP RAP CONTROL
- (E)** FOREBAY
- (F)** DEEP SUMP CATCH BASIN



Developer
 Mal-Mar, LLC
 20 Summit Avenue,
 Derry, NH

OPERATION AND MAINTENANCE PLAN
SITE PLAN
 TAX PARCEL 4 LOT 150C & E
 DOVER ROAD
 CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS

| DATE | DESCRIPTION | DWN BY | CK BY |
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| 03/05/20 | ADDRESS NHDES AOT COMMENTS | JR | JR |
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Rokeh Consulting, LLC
 89 KING ROAD, CHICHESTER, NH
 PH: 603-387-8688

SCALE: 1" = 40"
 DATE: OCTOBER 2, 2019
 DR. BY: JR CK. BY: JR
 JOB NO. _____
 SHEET NO. 10 OF 10