



Town of Chichester

Office of the Planning Board

54 Main Street
Chichester, New Hampshire 03258
(603) 798-5350 Fax (603) 798-3170

Planning Board Chairman

Stan Brehm

Vice Chairman

Michael Williams

Administration

Kristy Barnouski, Secretary

Notice of Public Meeting

Thursday April 9, 2020 6:30 PM

Via Teleconference

AGENDA

PUBLIC HEALTH NOTICE: The Town of CHICHESTER is scheduled to hold a public hearing on APRIL 9, 2020 at 6:30PM regarding the topic's below:

- 1. Call to order at 6:30 pm.
- 2. Approve Minutes from previous meeting
- 3. Site Plan Review- Amendment for DBU Construction, Inc. of building and site to approved Site Plan, Map 4 Lot 151, 10 Dover Road. To construct a contractor yard and garage for equipment storage.
- 4. Site Plan Review- Mal-Mar, LLC-Bobcat, Map 4 Lot 150-C & Map 4 Lot 150-E. An expansion of the site is proposed to regrade and create additional storage area for the exiting retail sales business.
- 5. Site Plan Review- Amendment for Chichester Commons, LLC. Map 4 Lot 161-A & Map 4 Lot 161 114/114A Dover Road. To amend previous Planning Board approval for 14-unit (11-one bedroom and 3-two bedroom) project to reduce to 13 unit (9-one bedroom and 4-two bedroom). Total bedroom count of 17 to remain the same.

IN LIGHT OF THE COVID 19 (CORONA VIRUS) SOCIAL DISTANCING ADVICE MADE BY THE GOVERNOR AND CDC, THE TOWN OF CHICHESTER FOLLOWING A DECLARATION OF EMERGENCY BY THE PLANNING BOARD CHAIRPERSON, IS PROVIDING A *MEETING PARTICIPATION VIA TELEPHONE CONFERENCE* FOR YOUR SAFETY.

If you would like to participate in the telephone conference, please call this number from home: **+1 253 215 8782** and enter this code: **Meeting ID: 274 084 386 & Password: 462192**. Follow along using a digital copy from our website at: ChichesterNH.org. We will also be streaming the meeting as a webinar which you join by going to this link : <https://zoom.us/j/931331372?pwd=bXIDNmhpK0p6cU5sTIB5V09lYVJxZz09>

Please Call Kristy Barnouski with any questions or concerns @ 798-5350 EXT 201 or Email: KBarnouski@ChichesterNH.org

*No new business will be taken up after 10:30pm unless agreed to by the Planning Board.
Any remaining items will be placed on the agenda for the next regular Planning Board meeting.
Information pertaining to any item on the agenda is available for public review by contacting the
Planning Office at the Town Hall during normal business hours or by calling 798-5350.*

Registry Book & Page _____

CHICHESTER PLANNING BOARD
SITE PLAN REVIEW APPLICATION

MAR 12 2020
CHICHESTER

Owner of Record: DBU CONSTRUCTION, INC Date Received: _____

Map Number: 4 Lot Number: 151 Fee Paid: _____ Check Number: _____

Address: PO BOX 984, EPSOM, NH 03234

Daytime Phone Number: 603-736-9100 Evening Phone Number: _____

Prepared by: ROKEH CONSULTING, LLC JON ROKEH

Address: 89 KING ROAD, CHICHESTER, NH

Daytime Phone Number: 603-387-8688 Evening Phone Number: _____

1. Road Location: NH RTE 2, 202, & 9 AKA DOVER ROAD

2. Property Located in a CU zone.


3. Land is in open space (current use): _____ YES; NO

4. Area of entire tract: 28.98 (acres). Portion to be utilized: 11 (acres or square feet)

5. Describe planned use:

TO CONSTRUCT A CONTRACTOR YARD AND GARAGE FOR EQUIPMENT STORAGE. GARAGE WILL BE SERVICED BY SEPTIC AND WELL. DRAINAGE, GRADING, EROSION CONTROL AND ASSOCIATED UTILITIES ARE PROPOSED.

The applicant agrees that he/she is familiar with the Site Plan Regulations of the Town of Chichester and the Laws of the State of New Hampshire governing site plan review, and in making this application, has complied with the same.



Property Owner or Applicant

3-12-2020

Date

Town of Chichester

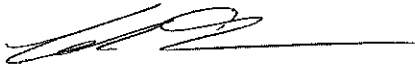
Planning Board
54 Main Street
Chichester, NH 03258

PERMISSION TO INSPECT FORM

I, **ADAM TOWNE**, property owner of Map **4** Lot **151-1** on

DOVER ROAD, in the town of Chichester, NH do hereby grant my permission for the Town Engineer to inspect site improvements or plans when the Chichester Planning Board requests.

I understand that the cost of the employment of said engineer for inspection(s), test(s), or review shall be paid by me.



Signature of Owner

3-12-20

Date

Witness

Date

Chichester Planning Board
Site Plan Review Checklist

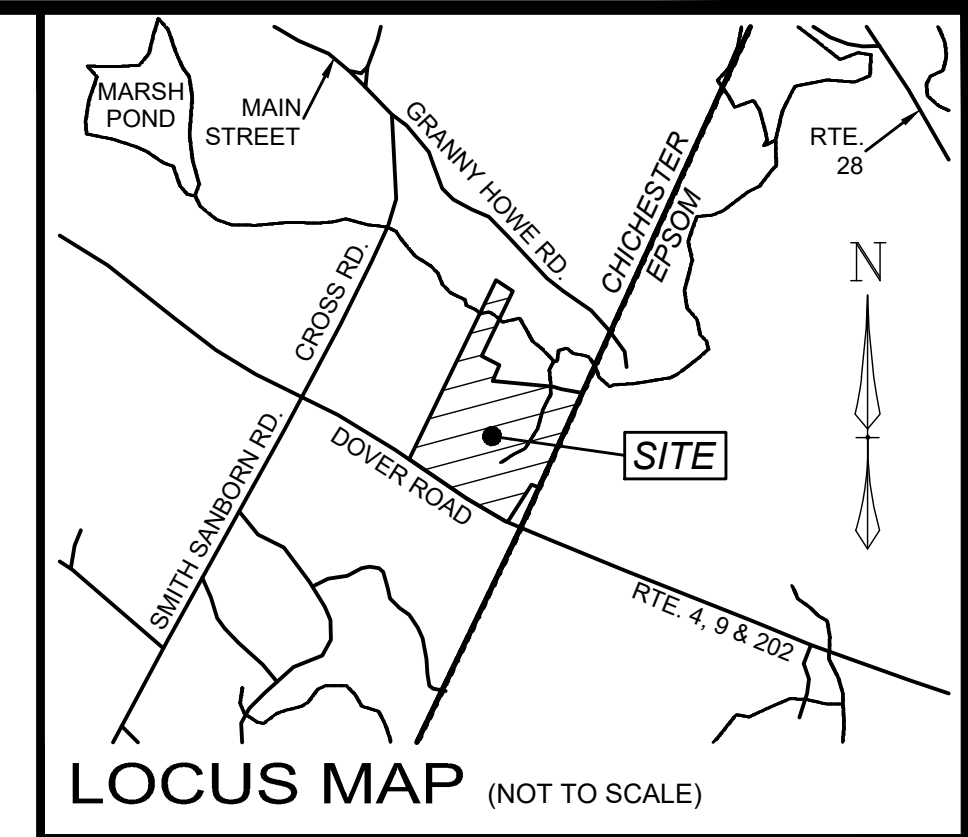
In cases where not all items are applicable, draw a line through the items.

APPLICABLE (Y/N)	INCLUDED (Y/N)	INITIALS	
<u>X</u>	<u> </u>	<u> </u>	1. Three copies of the completed application and checklist
<u>X</u>	<u> </u>	<u> </u>	2. Site plan: 22" by 34" sheet size maximum, scale not less than 1" =100', match lines where needed, boundaries, water courses & bodies of water, trees and other vegetation, topography at 2' intervals to USGS datum, existing and proposed contours and finished grade elevations and other pertinent features, date, title, graphic scale, north arrow, location map, name & address of developer/applicant, designer/engineer, owner of record. On mylar sufficient to record.
<u>X</u>	<u> </u>	<u> </u>	3. List of names and addresses of abutters and owners of land within 200' of any property line. (YOU MAY NOT ABUT YOURSELF)
<u>X</u>	<u> </u>	<u> </u>	4. The appropriate fee
<u>X</u>	<u> </u>	<u> </u>	5. Plan of all buildings depicting their type, size, and location (setbacks)
<u>X</u>	<u> </u>	<u> </u>	6. An elevation view or photo of all buildings
<u>X</u>	<u> </u>	<u> </u>	7. Layout of off-street parking and loading
<u>X</u>	<u> </u>	<u> </u>	8. Ingress-egress of site and depiction of streets both within and adjacent to site
<u>X</u>	<u> </u>	<u> </u>	9. Solid waste disposal facilities
<u>X</u>	<u> </u>	<u> </u>	10. Location; size, and design of signs and advertising or instructional devices
<u>X</u>	<u> </u>	<u> </u>	11. Location, type, direction, and illuminated area of outside lighting
<u>X</u>	<u> </u>	<u> </u>	12. Other required exhibits or data, any permits specific to site.
<u>X</u>	<u> </u>	<u> </u>	13. Permanent first floor elevation of proposed buildings
<u>X</u>	<u> </u>	<u> </u>	14. Existing water supply and sewage disposal facilities on the site and within 200' of the site, proposed water and sewage facilities, and provisions for expansion of water and sewage facilities
<u>X</u>	<u> </u>	<u> </u>	15. Location, elevation, and layout of surface drainage facilities
<u>X</u>	<u> </u>	<u> </u>	16. Existing and proposed landscaping and open space areas and treatment
<u>X</u>	<u> </u>	<u> </u>	17. Gas, electric, telephone, CATV utility lines

X			18. Boundry survey shown
X			19. Description or depiction of proposed grading, filling, or other site preparation
X			20. Existing and proposed buffers
X			21. Existing and proposed screening
X			22. Sidewalks, access, loading & parking
X			23. Erosion and sedimentation control plan
X			24. Flood plain areas
X			25. Town Engineer authorization
X			26. Wetlands Setbacks.

S I T E D E V E L O P M E N T P L A N S

DOVER ROAD- CHICHESTER, NH



NOTES:

1.) THE SUBJECT PARCEL IS LOT 151 ON THE TOWN OF CHICHESTER TAX MAP 4. THE OWNER OF RECORD IS D.B.U. CONSTRUCTION, INC. OF PO BOX 984, EPSOM, NEW HAMPSHIRE 03038. SEE MCRD V. 3599 P. 869.

2.) THE SUBJECT PARCEL IS ZONED CI/MF, R & OSW. MINIMUM LOT SIZE IS 2 ACRES. MINIMUM LOT FRONTAGE = 200'. SETBACKS ARE AS FOLLOWS: FRONT = 40' MIN. (90' FROM CENTERLINE OF ROUTE 4, 202 & 9), SIDE = 15' AND REAR = 15', ALL SUBJECT TO EXACT USE AND ZONE. THE SETBACKS SHOWN ARE FOR REFERENCE ONLY AND NEED TO BE VERIFIED WITH THE ZONING COMPLIANCE OFFICER.

3.) THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN AUGUST TO DECEMBER OF 2018. I, JOSEPH M. WICHERT, NHLLS #783, CERTIFY THAT THE WORK WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.

4.) THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY OF THE SUBJECT PARCEL AND THE CURRENT CONDITIONS THEREON.

5.) THE SUBJECT PARCEL IS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP, MERRIMACK COUNTY, NEW HAMPSHIRE, MAP NUMBER 33013C0557E, EFFECTIVE DATE APRIL 19, 2010.

6.) THE VERTICAL DATUM IS NAVD 1988 AND THE HORIZONTAL DATUM IS NHSPC 1983/2011. THE DATUM WERE ESTABLISHED USING STATIC GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN AUGUST OF 2018.

7.) THE UTILITY INFORMATION SHOWN IS BASED ON THE ABOVE GROUND LOCATION OF VISIBLE UTILITIES, THE CONTRACTOR NEEDS TO FIELD VERIFY ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THIS OFFICE DOES NOT GUARANTEE THE LOCATION AND ACCURACY OF THE UTILITY DATA. DIG SAFE SHALL BE CONTACTED 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION (811).

8.) THE PURPOSE OF THE PLAN SET IS TO SHOW THE PROPOSED IMPROVEMENTS FOR A COMMERCIAL DEVELOPMENT ON THE SUBJECT PARCEL. DRAINAGE, GRADING, UTILITIES, AND PARKING LAYOUTS HAVE BEEN INCLUDED.

9.) THE PROPOSED PROJECT WILL BE CONSTRUCTED IN THREE PHASES PER NHDES AOT REQUIREMENTS. PHASE I WILL CONSIST OF THE COMMERCIAL FRONTAGE SITE ON NH RT 4. PHASE II WILL CONSIST OF THE PROPOSED OFFICE AND SHOP AREA ALONG WITH ASSOCIATED DRAINAGE AND PHASE III WILL BE THE CONTRACTOR YARD TO THE NORTHEAST. EACH PHASE MUST BE STABILIZED BEFORE ADVANCING TO A SUCCESSIVE PHASE.

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. ROKEH CONSULTING, LLC, MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY UTILITIES WHETHER THEY BE ABOVE OR BELOW GROUND. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-800-DIG-SAFE.

AGENCY APPROVALS:

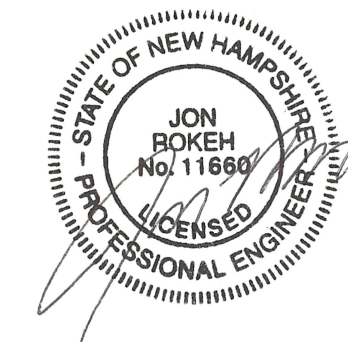
NHDOT - DRIVEWAY PERMIT APPR # NH DOT DRIVEWAY PERMIT NO. 05-089-0035

NHDES - WETLAND APPROVAL # 2019-00923

NHDES - ALTERATION OF TERRAIN APPROVAL # AOT-1631

L I S T O F D R A W I N G S

DWG NO.	DESCRIPTION
1	COVER SHEET
2,3	EXISTING CONDITIONS / BOUNDARY PLAN
4	OVERALL SITE AND GRADING PLAN
5, 6, 7	GRADING DRAINAGE EROSION CONTROL PLANS
8, 9, 10, 11	LANDSCAPING LIGHTING PLANS
12,13,14,15,16	PARKING LOT DRIVE PROFILES
17, 18,19,20,21,22,23	CONSTRUCTION & EROSION CONTROL DETAILS



LIST OF ADDITIONAL CONSULTANTS

LAND SURVEYOR

JOSEPH M. WICHERT, LLS INC
802 AMHERST STREET
MANCHESTER, NH 03104
Phone: (603) 647-4282

WETLANDS AND SOIL SCIENTIST

AARON WECHSLER
ASPEN ENVIRONMENTAL
41 LIBERTY HILL ROAD
BUILDING 2, UNIT 201
HENNIKER, NH 03242
603) 848-5606

NOTE :

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF CHICHESTER REGULATIONS AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.

2. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.

3. PHYSICAL EVIDENCE OF EXISTING UTILITIES WERE LOCATED ON THE GROUND HOWEVER PRIOR TO ANY CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT DIG-SAFE AND VERIFY ALL UNDERGROUND UTILITY LOCATIONS.

APPROVED

UNDER THE PROVISIONS OF RSA 674:35 & 673:36

CHICHESTER PLANNING BOARD

IN ACCORDANCE OF A MAJORITY VOTE OF THE BOARD APPROVED _____

CHAIR _____

SECRETARY _____

DATE SIGNED: _____

Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

COVER SHEET
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS

DATE	DESCRIPTION	DWN BY	CK BY
3-12-20	EDITS TO CONTRACTOR YARD LAYOUT	JR	JR
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

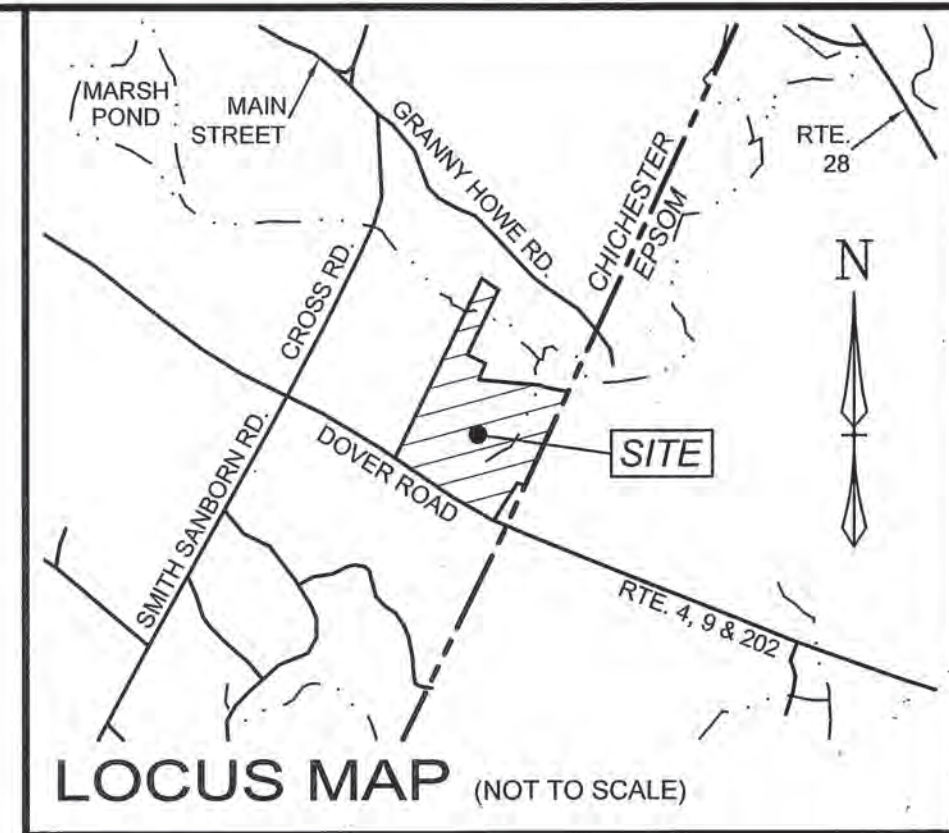
SCALE: 1" = 100"
DATE: JANUARY 14, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 1 OF 23

WETLANDS NOTE:

WETLANDS SHOWN WERE DELINEATED USING STANDARDS AND METHODOLOGY APPROVED BY THE ARMY CORPS OF ENGINEERS AND THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES WETLANDS BUREAU. WETLANDS WERE DELINEATED ON AUGUST 5-8 AND SEPTEMBER 7 & 14, 2018 BY AARON WECHSLER, CWS #250, FROM ASPEN ENVIRONMENTAL CONSULTANTS, LLC.



MATCH LINE - SHEET S-2



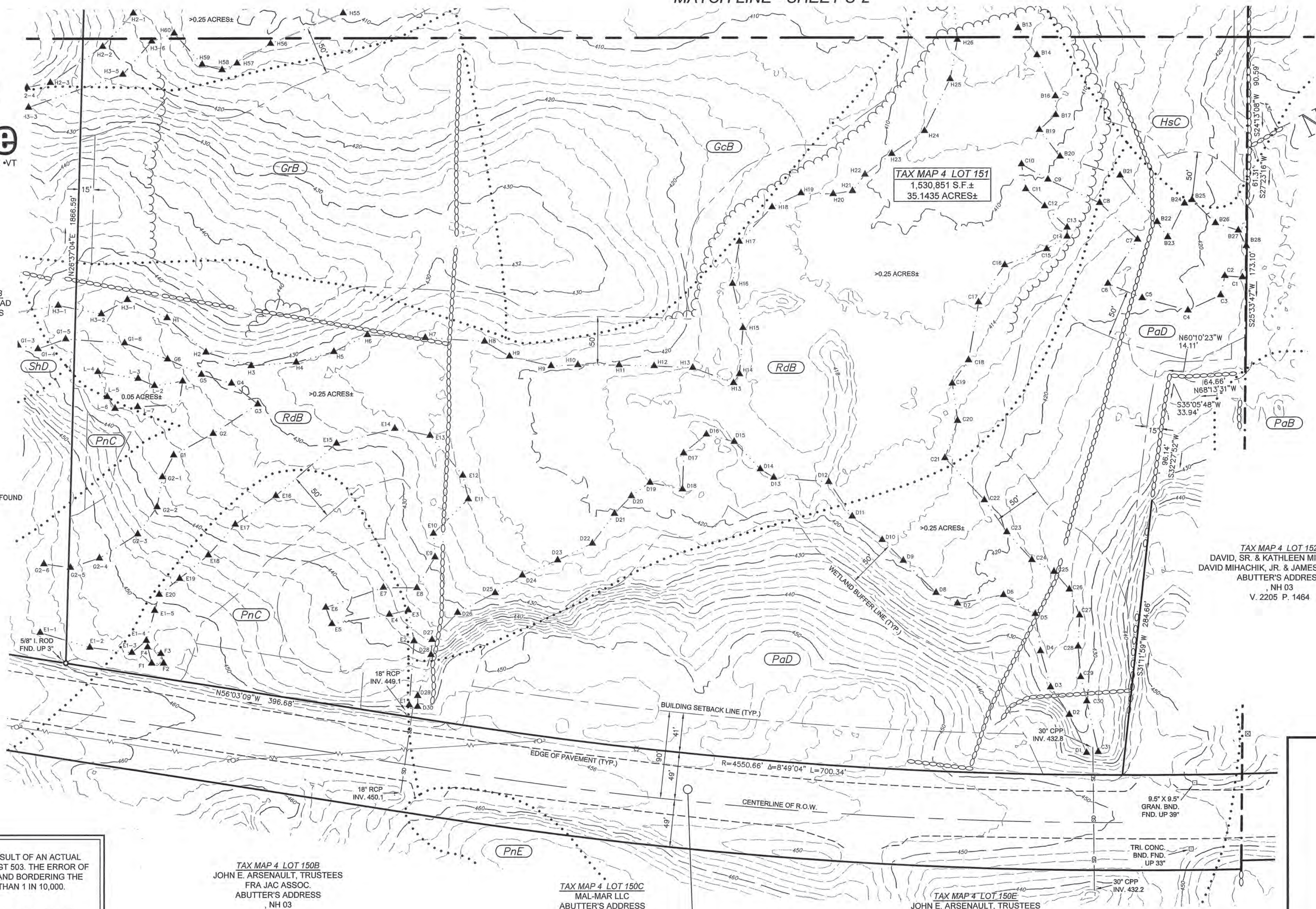
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TAX MAP 4 LOT 151B
KENNETH & KAREN HEAD
ABUTTER'S ADDRESS
NH 03
V. 1853 P. 2093

- SYMBOL LEGEND**
- IRON ROD FOUND
 - ⊙ IRON PIPE FOUND
 - CONC. OR GRAN. BOUND FOUND
 - ⊕ DRILL HOLE
 - ☆ LIGHT POLE
 - ⊙ UTILITY POLE
 - ▲ WETLAND FLAG
 - SOIL LINE
 - WETLAND LINE
 - SD STORM DRAIN
 - OVERHEAD UTILITY LINE
 - STONE WALL
 - TREE LINE
 - GrB SOIL TYPE



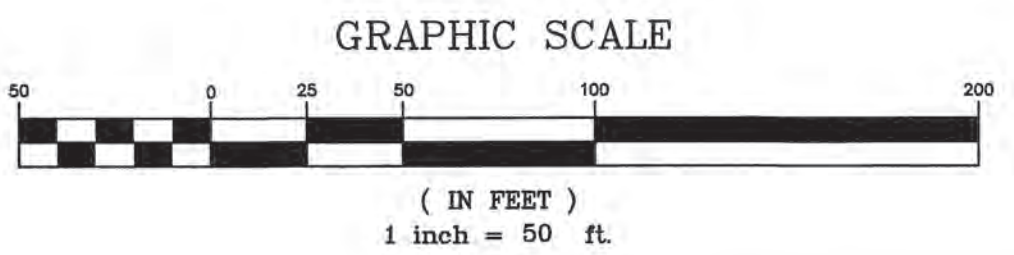
TAX MAP 4 LOT 152
DAVID, SR. & KATHLEEN MIHACHIK,
DAVID MIHACHIK, JR. & JAMES MIHACHIK
ABUTTER'S ADDRESS
NH 03
V. 2205 P. 1464

TAX MAP 4 LOT 150B
JOHN E. ARSENAULT, TRUSTEES
FRA JAC ASSOC.
ABUTTER'S ADDRESS
NH 03
V. P.

TAX MAP 4 LOT 150C
MAL-MAR LLC
ABUTTER'S ADDRESS
NH 03
V. P.

TAX MAP 4 LOT 150E
JOHN E. ARSENAULT, TRUSTEES
FRA JAC ASSOC.
ABUTTER'S ADDRESS
NH 03
V. P.

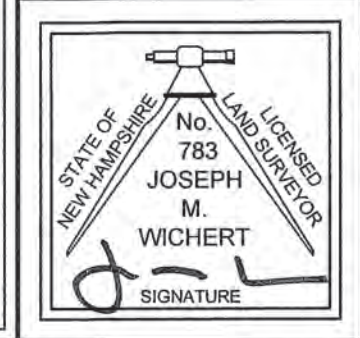
**DOVER ROAD A.K.A.
U.S. RTE. 4 & 202,
N.H. RTE. 9**
98' WIDE R.O.W.



I CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE WITH A TOPCON GT 503. THE ERROR OF CLOSURE ON ALL LOT LINES WITHIN AND BORDERING THE SUBJECT PROPERTY IS BETTER THAN 1 IN 10,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I HEREBY CERTIFY THAT A COPY OF THIS PLAN HAS BEEN FILED WITH THE CHICHESTER PLANNING BOARD IN ACCORDANCE WITH RSA 676:18(IV).



11 DEC. 2018
DATE

NO.	DATE	DESCRIPTION	BY

**EXISTING CONDITIONS PLAN FOR
D.B.U. CONSTRUCTION, INC.
MAP 4 LOT 151
10 DOVER ROAD
U.S. RTE. 4 & 202, N.H. RTE. 9
CHICHESTER, NEW HAMPSHIRE**

DATE: OCTOBER 15, 2018 SCALE: 1" = 60'

EXISTING CONDITIONS PLAN BY:

802 AMHERST STREET
MANCHESTER, NH 03104
TEL: (603) 647-4282 OR 736-8203
FAX: (603) 623-1910
WEB: WWW.JMWLLS.COM

Joseph M. Wichert
LLS, INC.

LAND SURVEYOR & SEPTIC SYSTEM DESIGNER

SHEET EC1 SHEET OF F.B. - P. - JOB #2018152

PLAN REFERENCES:

- 1.) "PROPOSED SUBDIVISION, ROBERT HEAD, ROUTE 4, CHICHESTER, N.H. 03263", DATED JULY 1988 AND PREPARED BY WILLARD E. TURNER ASSOCIATES, INC. MCRD PLAN 10,478.
- 2.) "LOT LINE ADJUSTMENT, TAX MAP U6-12-2, 2146 DOVER ROAD, EPSOM, NH, MERRIMACK COUNTY, PREPARED FOR & OWNED BY: ANN S. SHUMWAY, 2146 DOVER RD., EPSOM NH 03234, RUTH & FRANK QIMBY, 2148 DOVER RD., EPSOM NH 03234", DATED OCTOBER 22, 2008 AND PREPARED BY J.E. BELANGER LAND SURVEYING PLLC. MCRD PLAN 19,264.
- 3.) "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID PROJECT, NO. 179 (2), CENTRAL ROAD, AS-BUILT PLANS, TOWN OF CHICHESTER, COUNTY OF MERRIMACK", ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- 4.) "PLAN OF SURVEY FOR WILLIAM & EDNA WELCH", DATED 8/17/79 AND PREPARED BY DAVID R. NOYES. ON FILE AT THE OFFICE OF DAVID R. NOYES, LLS.

SCS SOILS DATA & TOWN OF CHICHESTER ZONING:

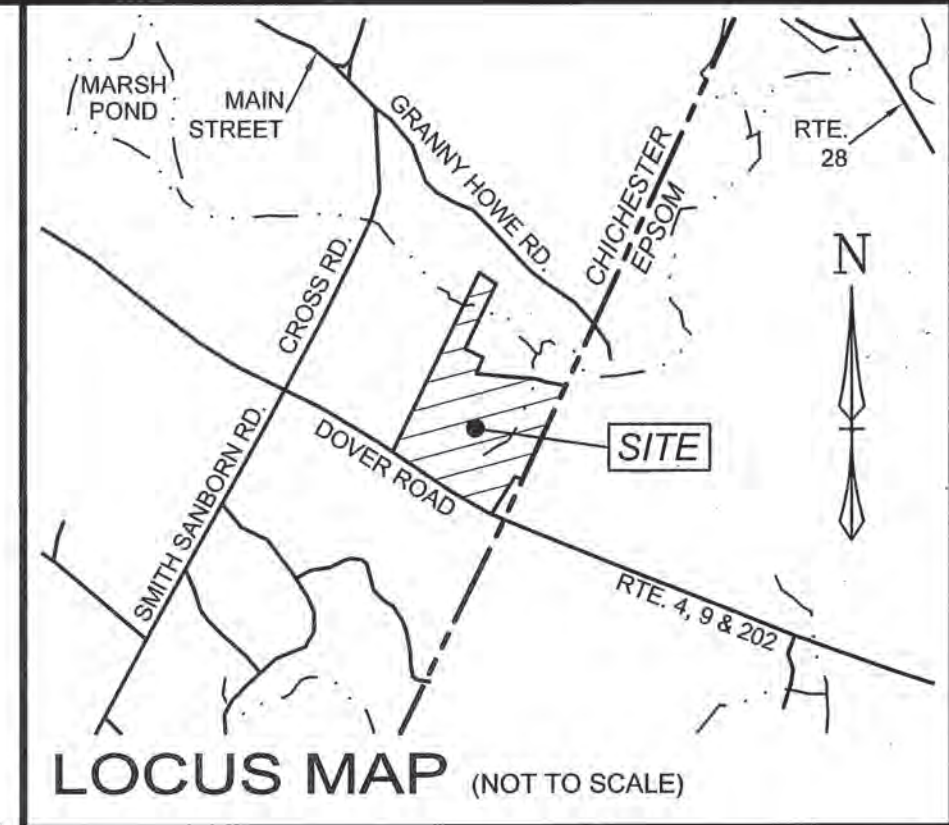
ZONE OSW - CONSERVATION - OPEN SPACE - WETLANDS
 Mp - MUCK AND PEAT
 RdA - RIDGEBURY AND WHITMAN VERY STONY LOAM, 0 TO 3% SLOPES
 RdB - RIDGEBURY AND WHITMAN VERY STONY LOAM, 3 TO 8% SLOPES

ZONE OSS - CONSERVATION - OPEN SPACE - STEEPLANDS
 PaD - PAXTON LOAM, 15 TO 25% SLOPES
 PnE - PAXTON VERY STONY LOAM, 15 TO 60% SLOPES
 ShD - SHAPLEIGH-GLOUCESTER VERY ROCKY SANDY LOAMS, 15 TO 25% SLOPES

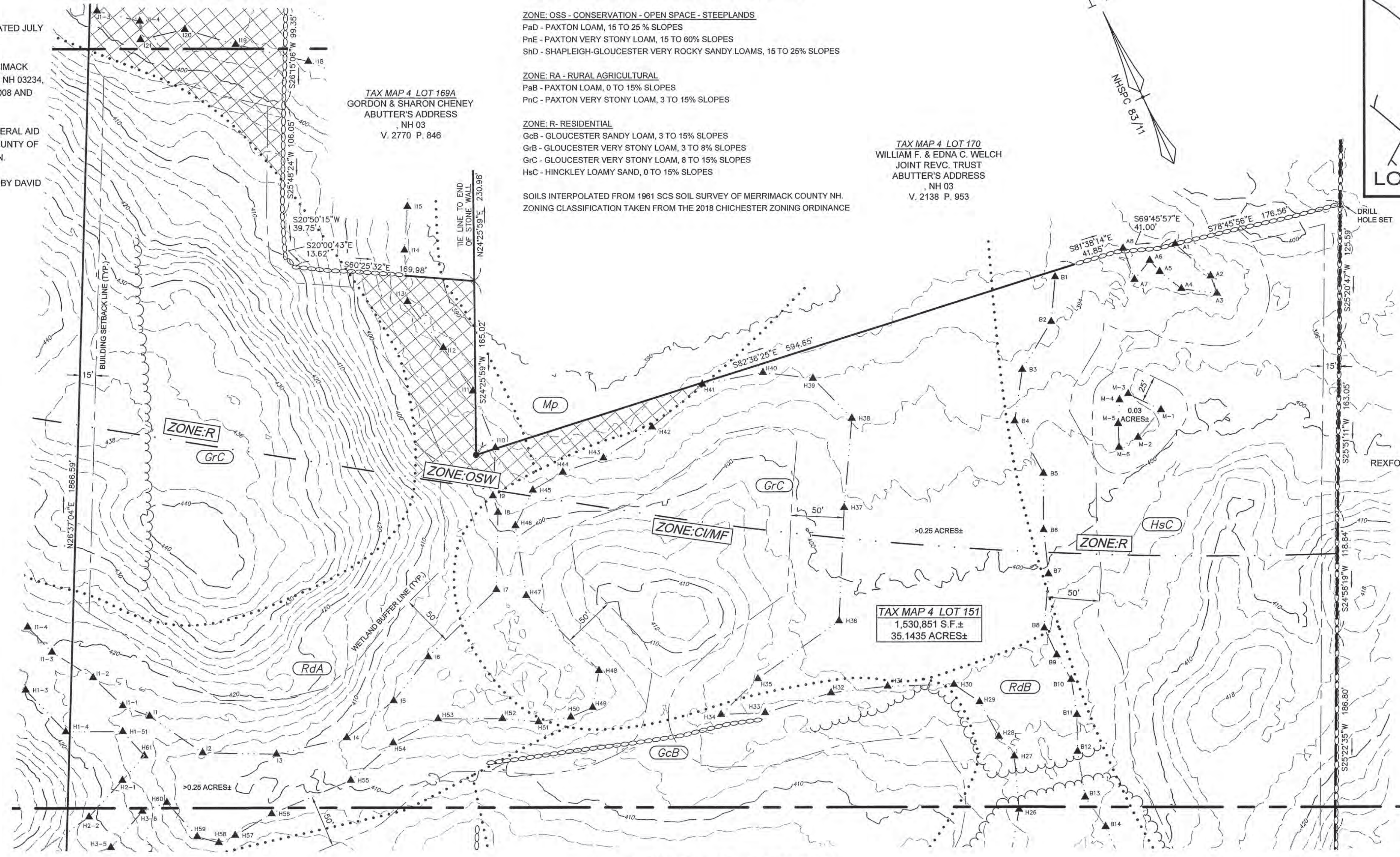
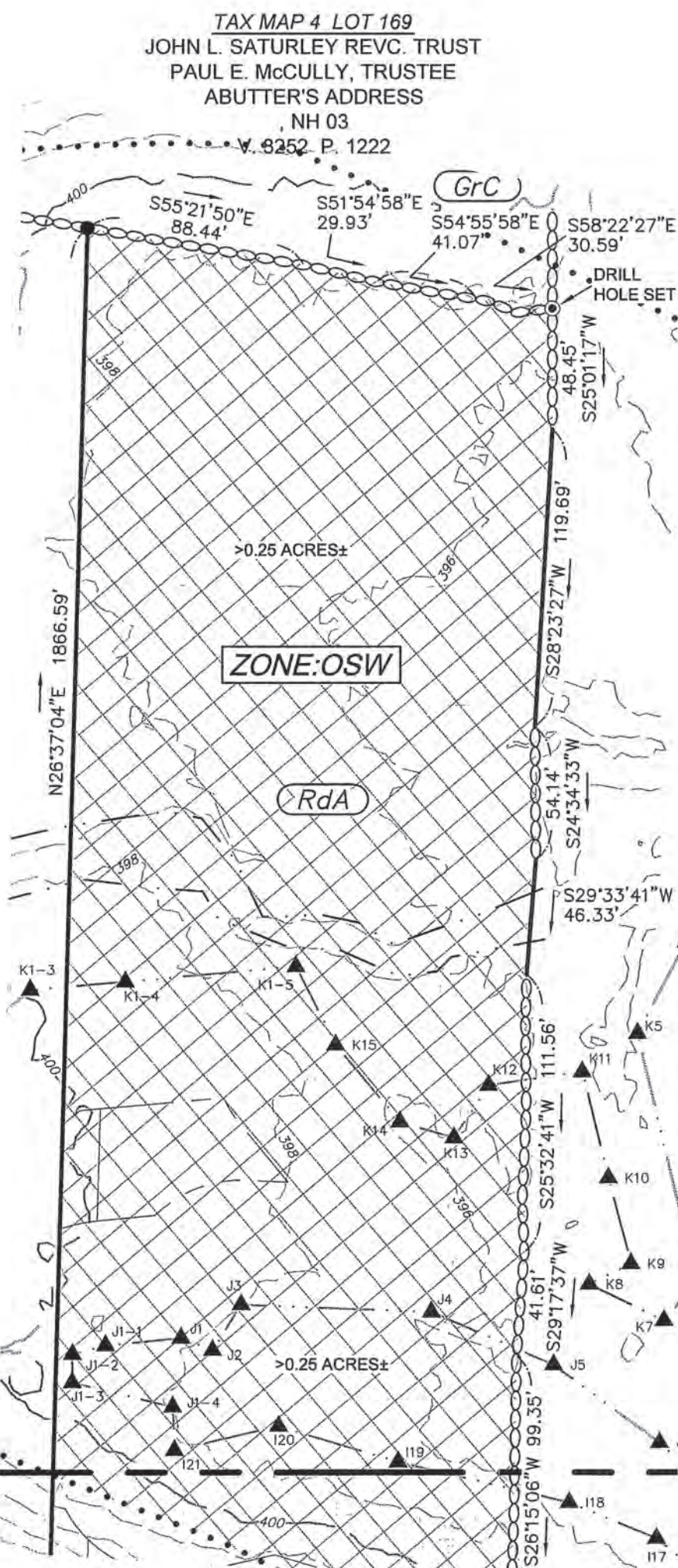
ZONE RA - RURAL AGRICULTURAL
 PaB - PAXTON LOAM, 0 TO 15% SLOPES
 PnC - PAXTON VERY STONY LOAM, 3 TO 15% SLOPES

ZONE R - RESIDENTIAL
 GcB - GLOUCESTER SANDY LOAM, 3 TO 15% SLOPES
 GrB - GLOUCESTER VERY STONY LOAM, 3 TO 8% SLOPES
 GrC - GLOUCESTER VERY STONY LOAM, 8 TO 15% SLOPES
 HsC - HINCKLEY LOAMY SAND, 0 TO 15% SLOPES

SOILS INTERPOLATED FROM 1961 SCS SOIL SURVEY OF MERRIMACK COUNTY NH.
 ZONING CLASSIFICATION TAKEN FROM THE 2018 CHICHESTER ZONING ORDINANCE



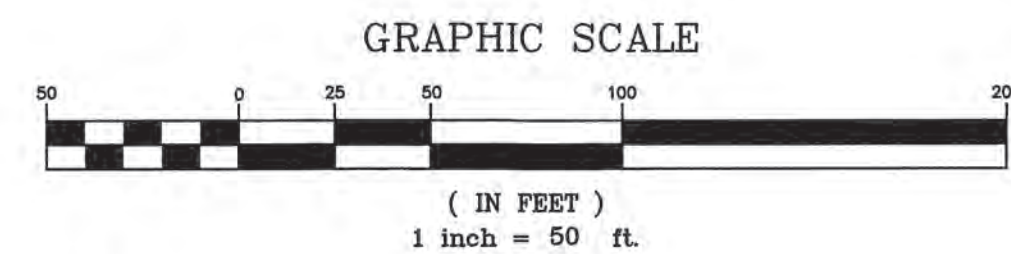
MATCH LINE - THIS SHEET



MATCH LINE - SHEET S-1

WETLANDS NOTE:

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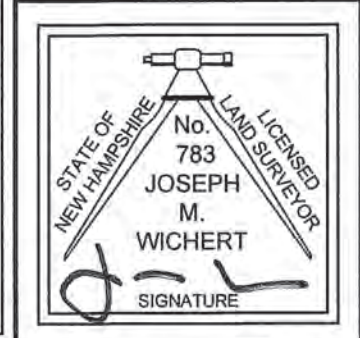
EXISTING CONDITIONS PLAN FOR
D.B.U. CONSTRUCTION, INC.
 MAP 4 LOT 151
 10 DOVER ROAD
 U.S. RTE. 4 & 202, N.H. RTE. 9
 CHICHESTER, NEW HAMPSHIRE
 DATE: OCTOBER 15, 2018 SCALE: 1" = 60'

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11 DEC. 2018
 DATE



COPYRIGHT 2018 JOSEPH M. WICHERT, L.L.S., INC.

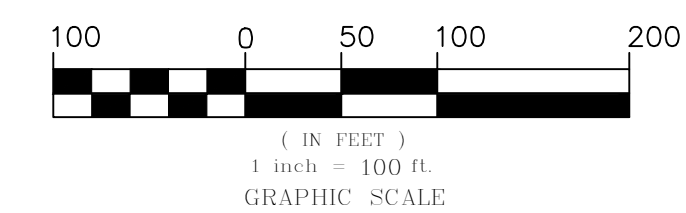
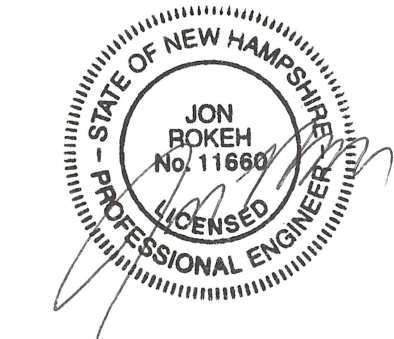
NO.	DATE	DESCRIPTION	BY

EXISTING CONDITIONS PLAN BY:

802 AMHERST STREET
 MANCHESTER, NH 03104
 TEL: (603) 647-4282 OR 736-8203
 FAX: (603) 623-1910
 WEB: WWW.JMWLLS.COM



LAND SURVEYOR & SEPTIC SYSTEM DESIGNER



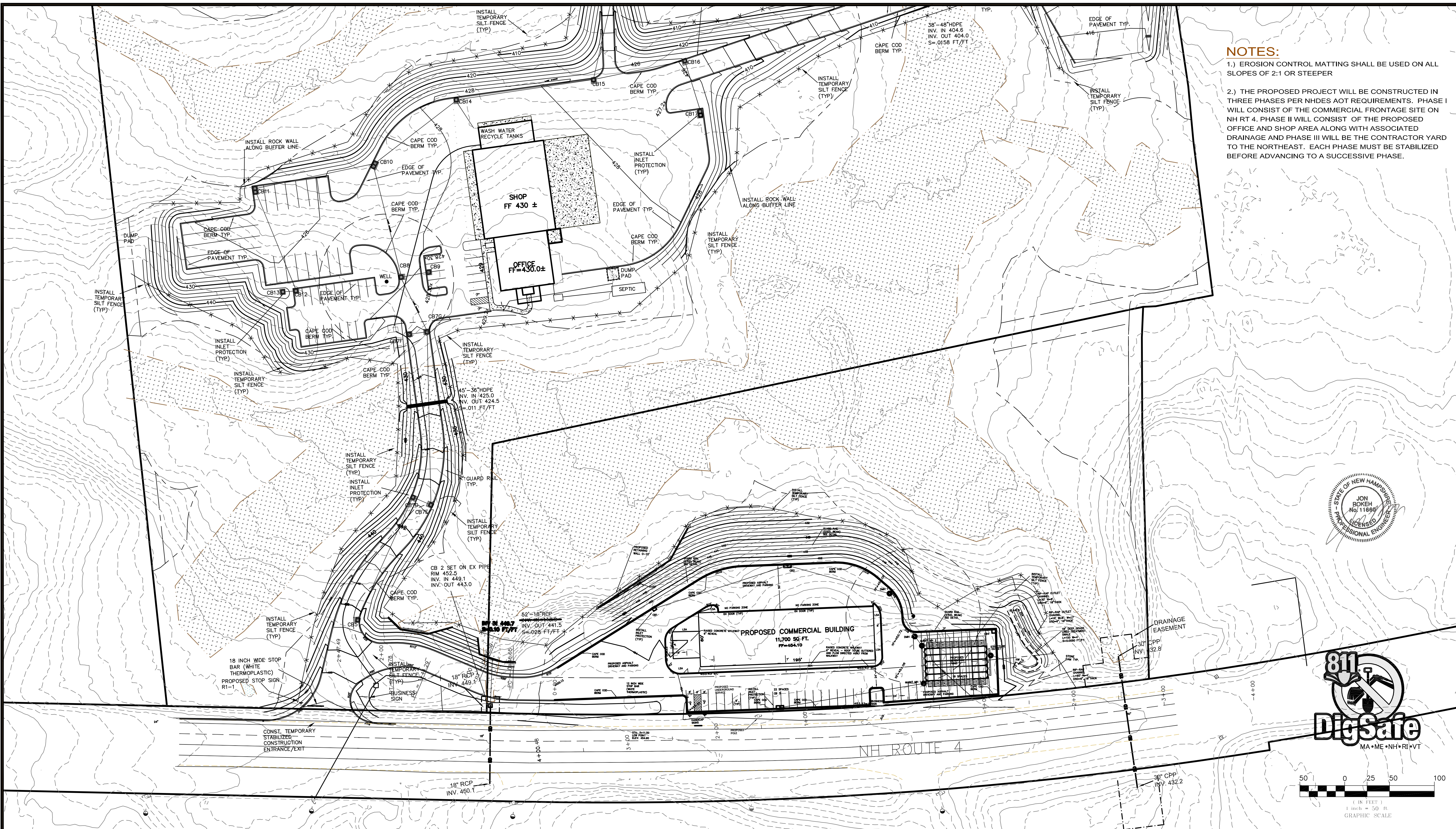
Developer:
 DBU CONSTRUCTION
 PO Box 984
 Epsom, NH 03234

OVERALL SITE PLAN & PHASING PLAN
 COMMERCIAL SITE PLAN
 TAX PARCEL 4 LOT 151
 DOVER ROAD
 CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

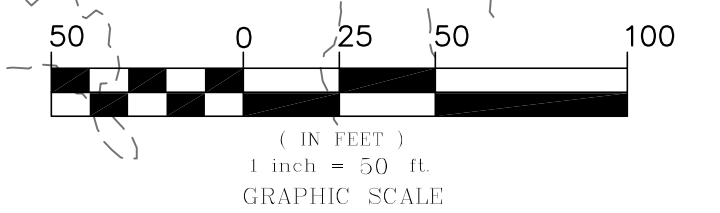
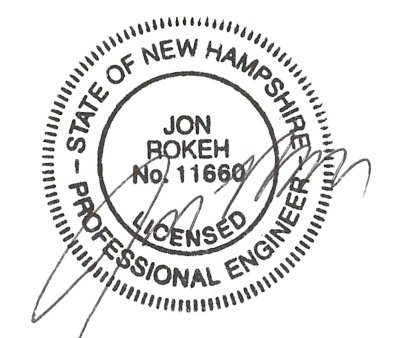
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DATE	DESCRIPTION	DWN BY	CK BY	
4-4-19	EDITS PER PLANNING BOARD	JR	JR	
5-20-19	EDITS PER AOT COMMENTS	JR	JR	
6-17-19	EDITS PER AOT COMMENTS	JR	JR	
9-10-19	EDITS TO DRIVES PER NHDOT COMMENTS	JR	JR	
3-12-20	EDITS TO CONTRACTOR YARD LAYOUT	JR	JR	

Rokeh Consulting, LLC
 89 KING ROAD, CHICHESTER, NH
 PH: 603-387-8688

SCALE: 1" = 30"
 DATE: JANUARY 14, 2019
 DR. BY: JR CK. BY: JR
 JOB NO. _____
 SHEET NO. 4 OF 23



- NOTES:**
- 1.) EROSION CONTROL MATTING SHALL BE USED ON ALL SLOPES OF 2:1 OR STEEPER
 - 2.) THE PROPOSED PROJECT WILL BE CONSTRUCTED IN THREE PHASES PER NHDES AOT REQUIREMENTS. PHASE I WILL CONSIST OF THE COMMERCIAL FRONTAGE SITE ON NH RT 4. PHASE II WILL CONSIST OF THE PROPOSED OFFICE AND SHOP AREA ALONG WITH ASSOCIATED DRAINAGE AND PHASE III WILL BE THE CONTRACTOR YARD TO THE NORTHEAST. EACH PHASE MUST BE STABILIZED BEFORE ADVANCING TO A SUCCESSIVE PHASE.



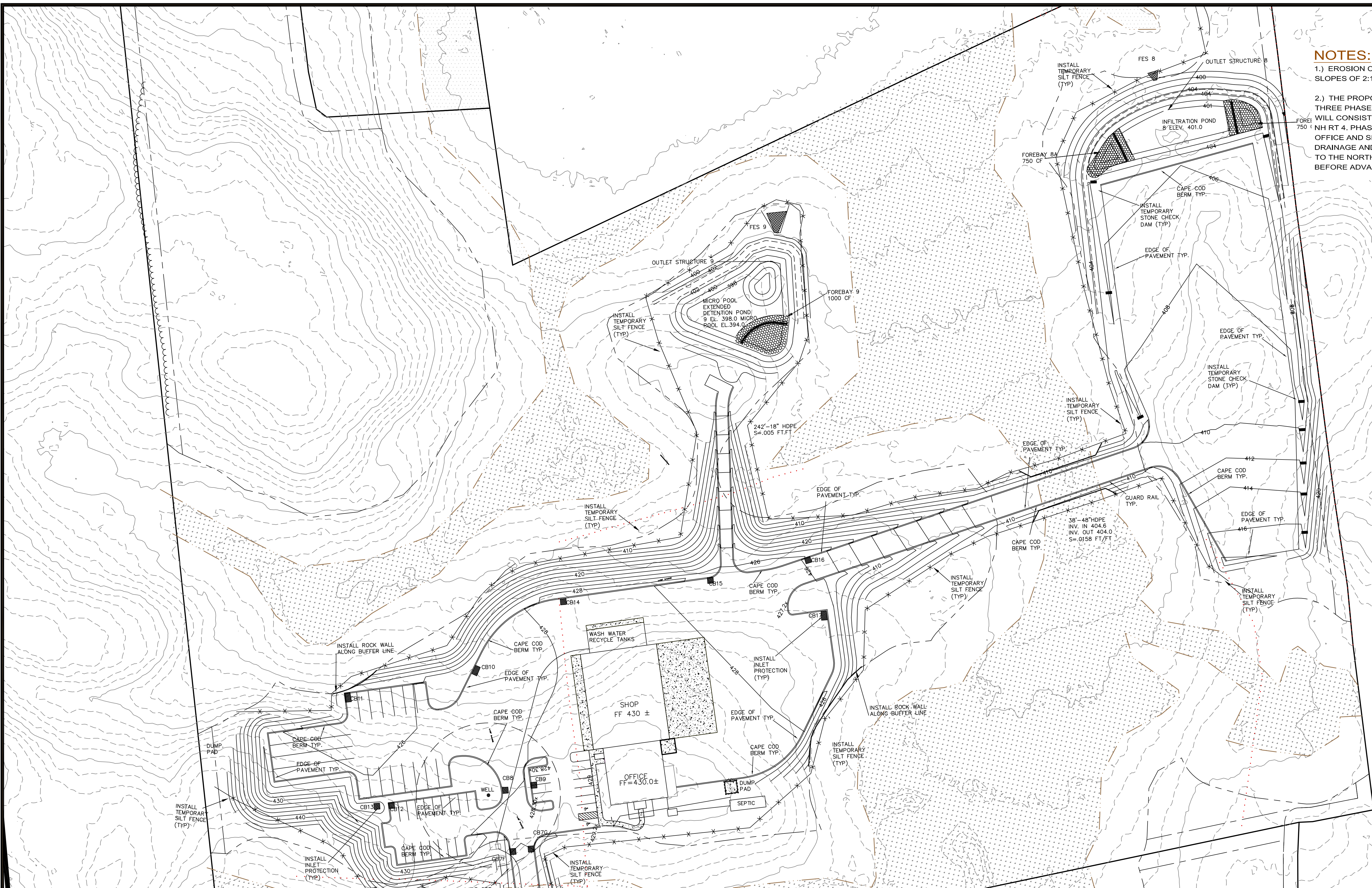
Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

SITE PLAN
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS			
DATE	DESCRIPTION	DWN BY	CK BY
3-12-20	EDITS TO CONTRACTOR YARD LAYOUT	JR	JR

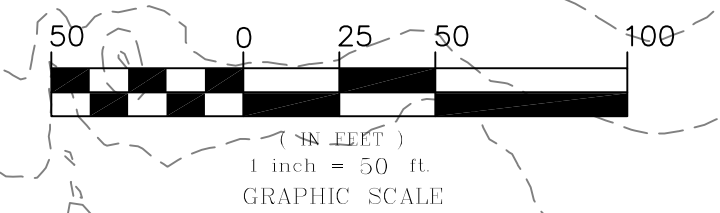
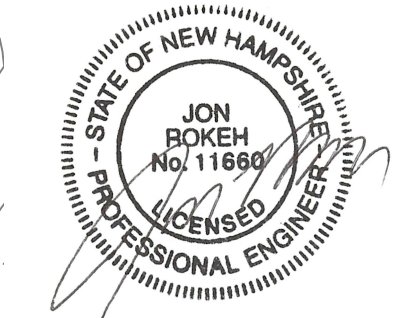
Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 50"
DATE: JANUARY 14, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 5 OF 23



NOTES:

- 1.) EROSION CONTROL MATTING SHALL BE USED ON ALL SLOPES OF 2:1 OR STEEPER
- 2.) THE PROPOSED PROJECT WILL BE CONSTRUCTED IN THREE PHASES PER NHDES AOT REQUIREMENTS. PHASE I WILL CONSIST OF THE COMMERCIAL FRONTAGE SITE ON NH RT 4. PHASE II WILL CONSIST OF THE PROPOSED OFFICE AND SHOP AREA ALONG WITH ASSOCIATED DRAINAGE AND PHASE III WILL BE THE CONTRACTOR YARD TO THE NORTHEAST. EACH PHASE MUST BE STABILIZED BEFORE ADVANCING TO A SUCCESSIVE PHASE.



Developer:
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 Epsom, NH 03234

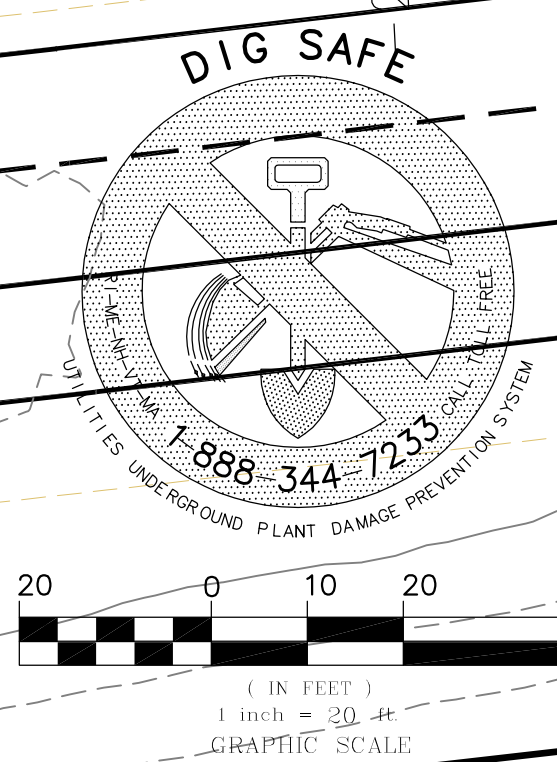
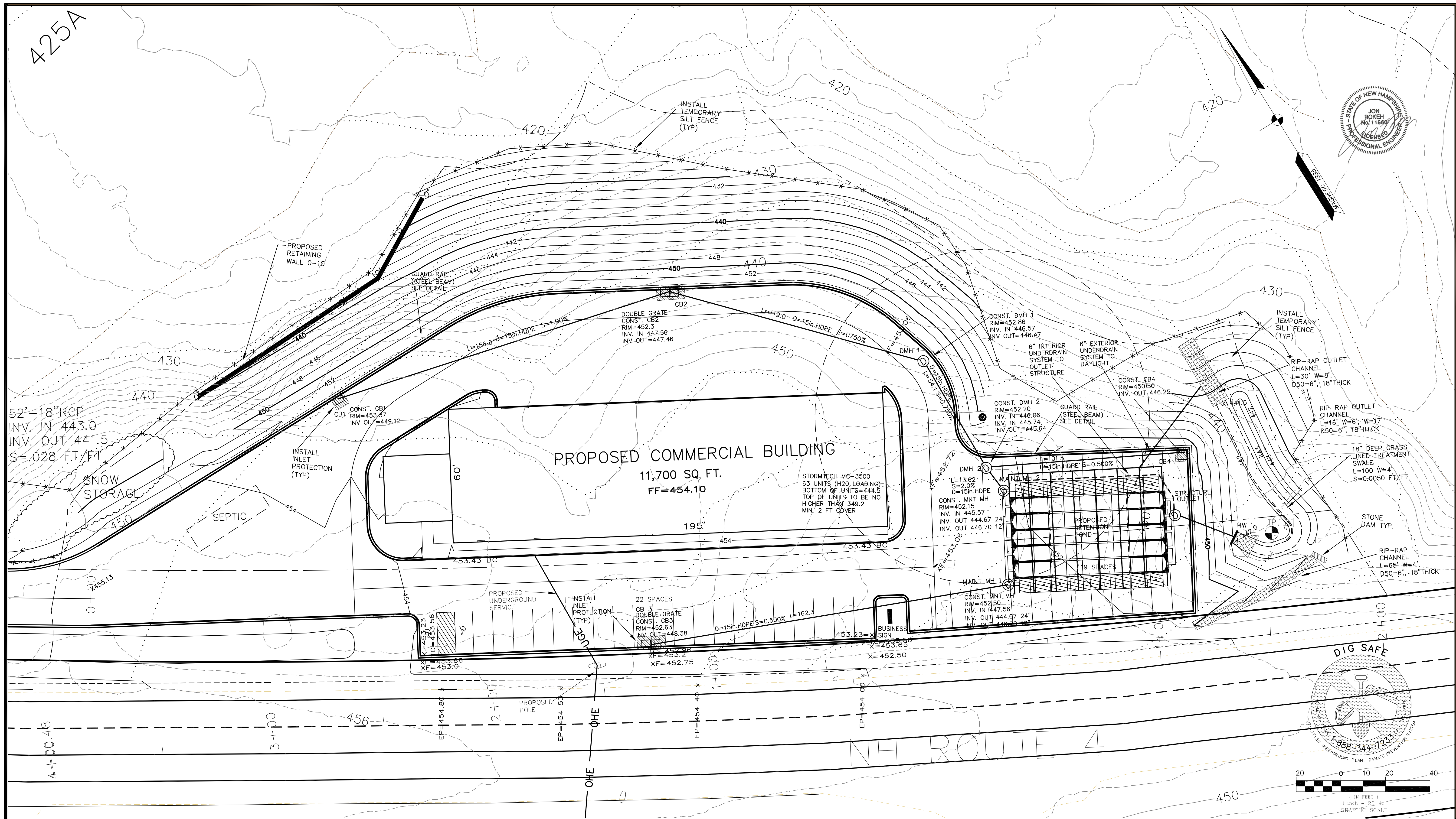
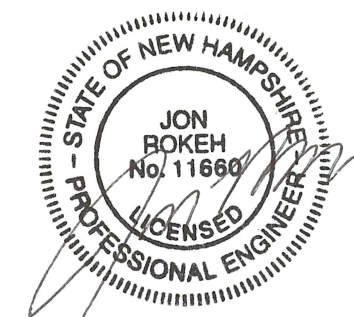
SITE PLAN
COMMERCIAL SITE PLAN
 TAX PARCEL 4 LOT 151
 DOVER ROAD
 CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS			
DATE	DESCRIPTION	DWN BY	CK BY
3-12-20	EDITS TO CONTRACTOR YARD LAYOUT	JR	JR

Rokeh Consulting, LLC
 89 KING ROAD, CHICHESTER, NH
 PH: 603-387-8688

SCALE: 1" = 50"
 DATE: JANUARY 14, 2019
 DR. BY: JR CK. BY: JR
 JOB NO. _____
 SHEET NO. 6 OF 23

425A



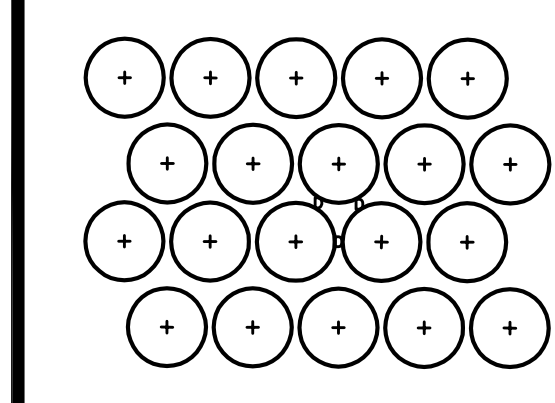
Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

DRAINAGE AND GRADING PLAN
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

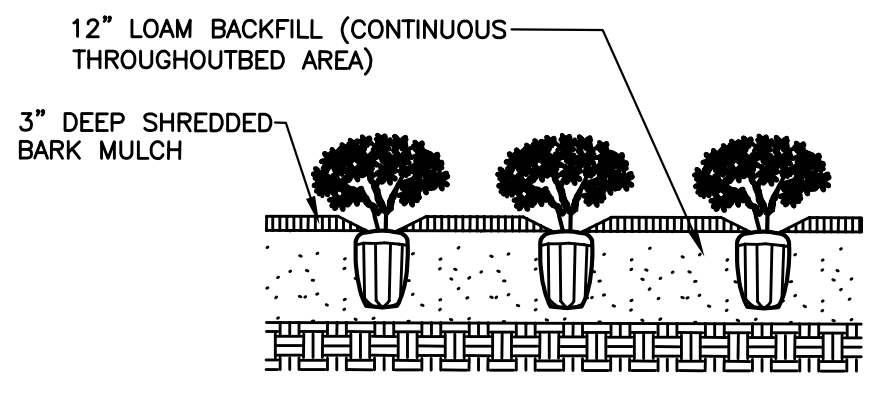
REVISIONS			
DATE	DESCRIPTION	DWN BY	CK BY
4-4-19	EDITS PER PLANNING BOARD	JR	JR
5-20-19	EDITS PER AOT COMMENTS	JR	JR
6-17-19	EDITS TO DRIVES PER NHDOT COMMENTS	JR	JR
6-19-19	EDITS PER AOT COMMENTS	BT	JR
6-26-19	EDITS PER AOT COMMENTS	BT	JR

Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

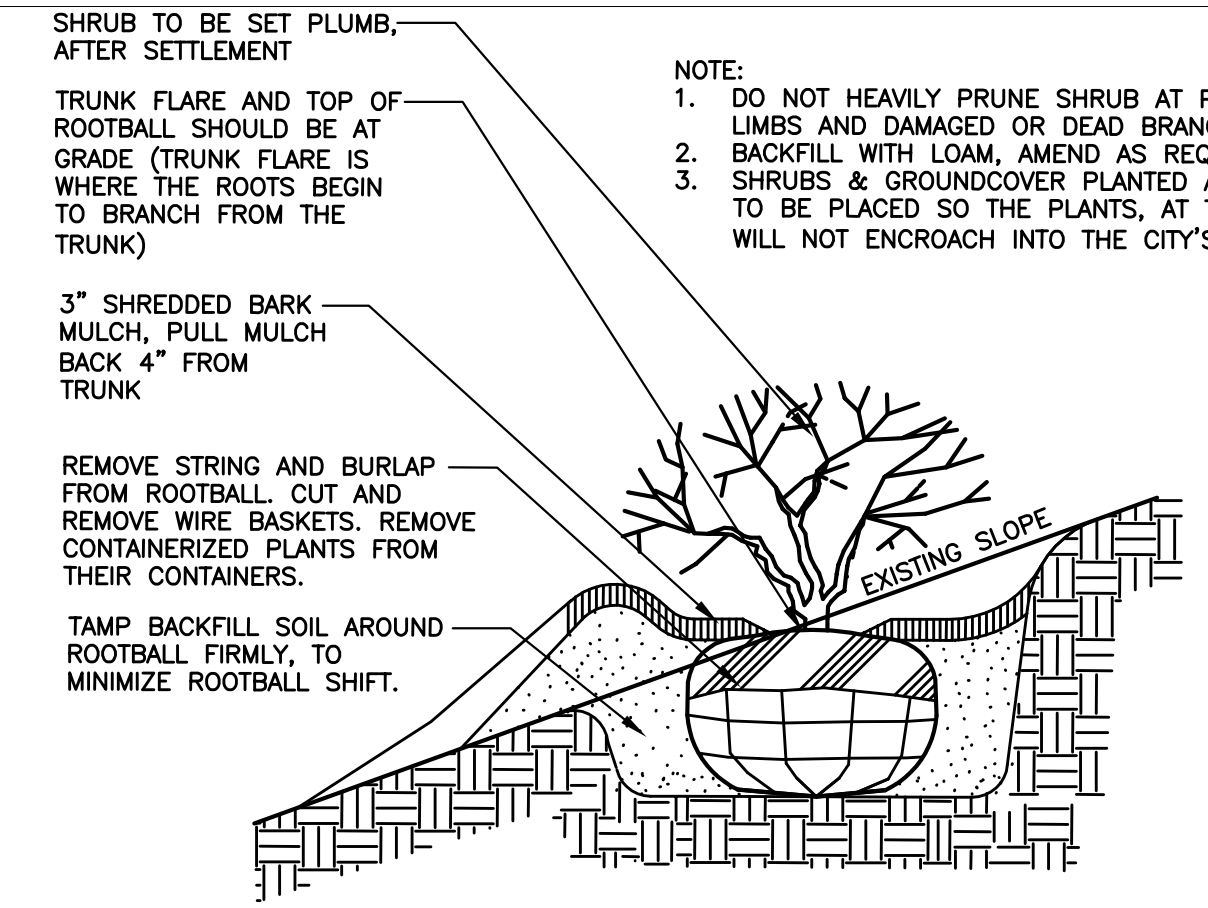
SCALE: 1" = 20"
DATE: JANUARY 14, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 7 OF 23



TYPICAL BED PLANT SPACING
NOTE: D = DIMENSION OF PLANT SPACING (SHRUB OR GROUNDCOVER AS INDICATED ON PLANS)

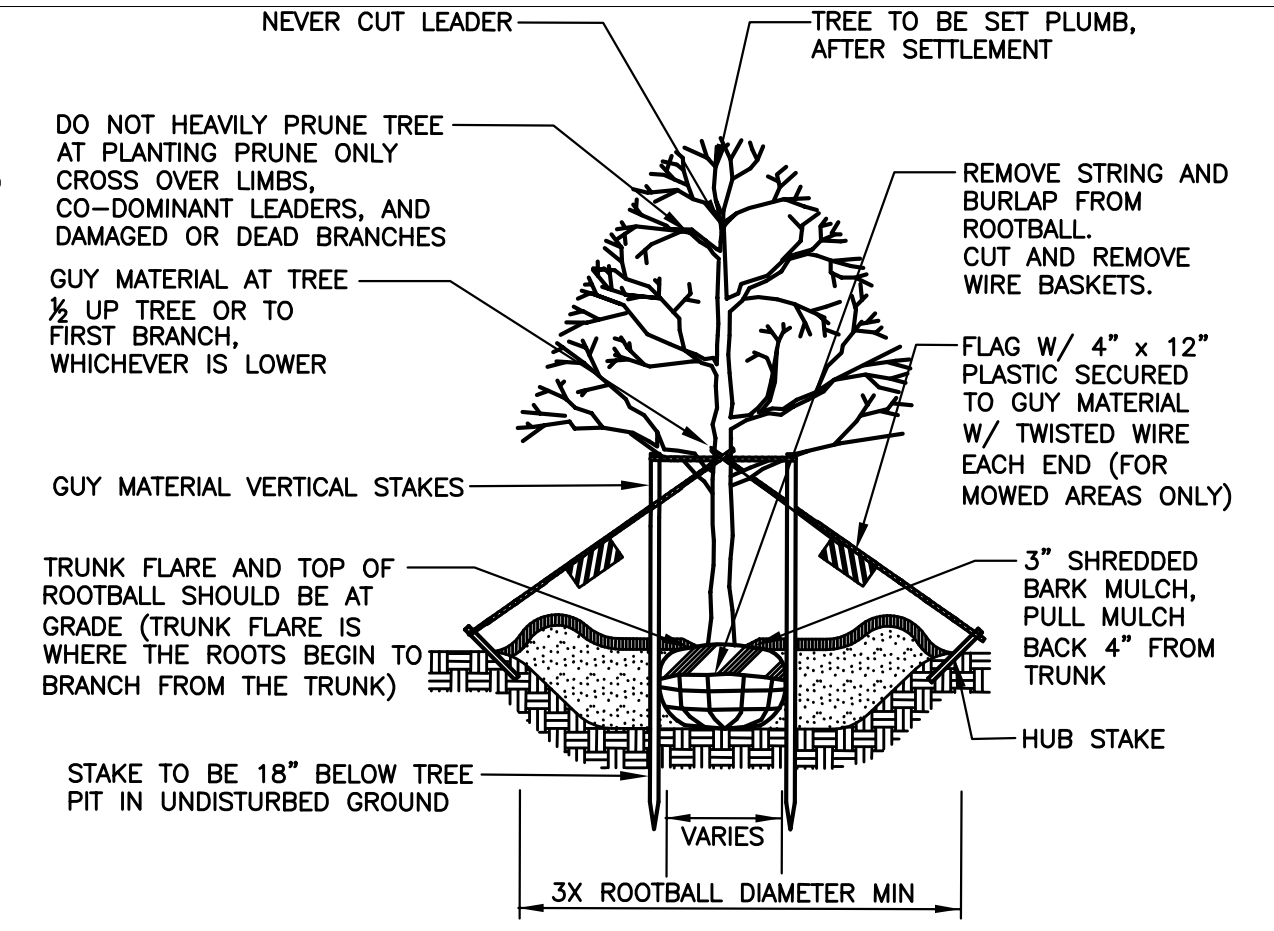


GROUNDCOVER BED PLANTING



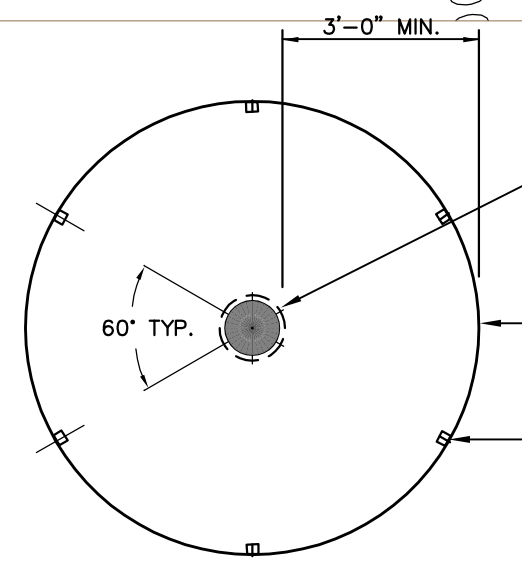
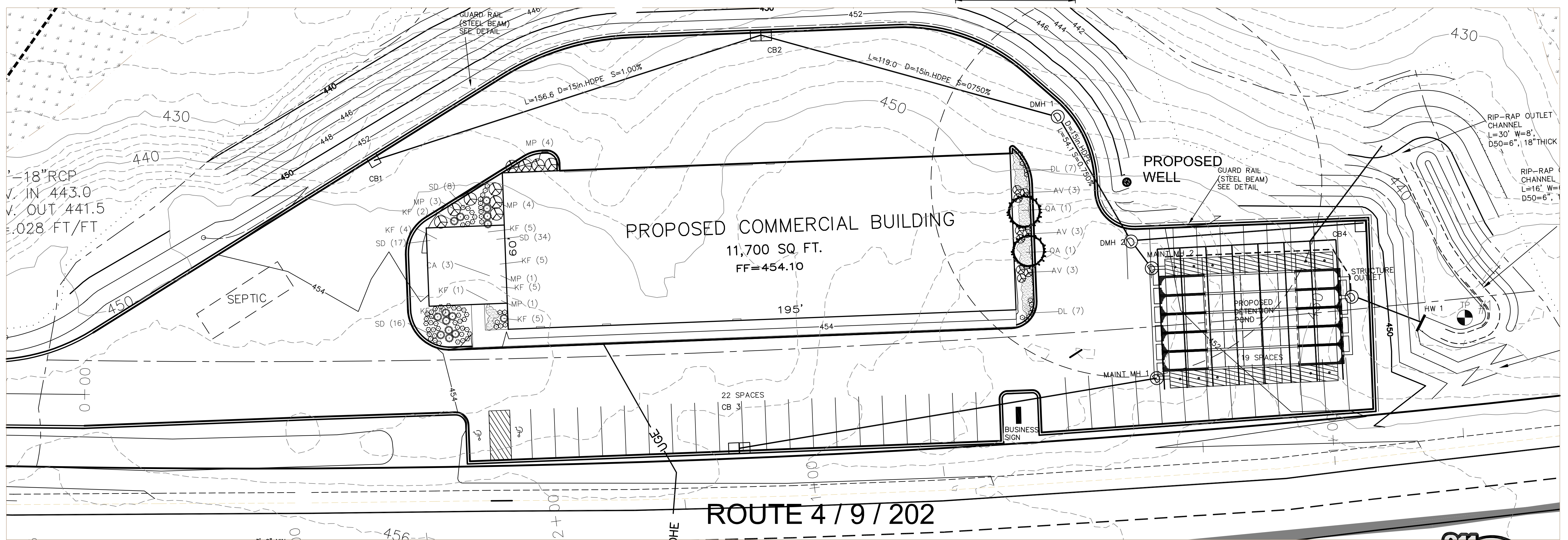
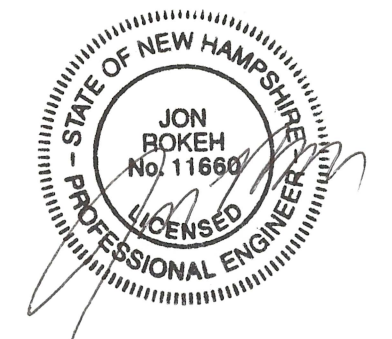
SHRUB TO BE SET PLUMB, AFTER SETTLEMENT
TRUNK FLARE AND TOP OF ROOTBALL SHOULD BE AT GRADE (TRUNK FLARE IS WHERE THE ROOTS BEGIN TO BRANCH FROM THE TRUNK)
3" SHREDDED BARK MULCH, PULL MULCH BACK 4" FROM TRUNK
REMOVE STRING AND BURLAP FROM ROOTBALL. CUT AND REMOVE WIRE BASKETS. REMOVE CONTAINERIZED PLANTS FROM THEIR CONTAINERS.
TAMP BACKFILL SOIL AROUND ROOTBALL FIRMLY, TO MINIMIZE ROOTBALL SHIFT.

NOTE:
1. DO NOT HEAVILY PRUNE SHRUB AT PLANTING, PRUNE ONLY CROSSOVER LIMBS AND DAMAGED OR DEAD BRANCHES.
2. BACKFILL WITH LOAM, AMEND AS REQUIRED BY LANDSCAPE ARCHITECT.
3. SHRUBS & GROUNDCOVER PLANTED ADJACENT TO CITY SIDEWALKS NEED TO BE PLACED SO THE PLANTS, AT THEIR MATURE HEIGHT & WIDTH, WILL NOT ENCRoACH INTO THE CITY'S SIDEWALK.



NEVER CUT LEADER
TREE TO BE SET PLUMB, AFTER SETTLEMENT
DO NOT HEAVILY PRUNE TREE AT PLANTING PRUNE ONLY CROSS OVER LIMBS, CO-DOMINANT LEADERS, AND DAMAGED OR DEAD BRANCHES
GUY MATERIAL AT TREE 1/2 UP TREE OR TO FIRST BRANCH, WHICHEVER IS LOWER
GUY MATERIAL VERTICAL STAKES
TRUNK FLARE AND TOP OF ROOTBALL SHOULD BE AT GRADE (TRUNK FLARE IS WHERE THE ROOTS BEGIN TO BRANCH FROM THE TRUNK)
STAKE TO BE 18" BELOW TREE PIT IN UNDISTURBED GROUND
3X ROOTBALL DIAMETER MIN
REMOVE STRING AND BURLAP FROM ROOTBALL. CUT AND REMOVE WIRE BASKETS.
FLAG W/ 4" x 12" PLASTIC SECURED TO GUY MATERIAL W/ TWISTED WIRE EACH END (FOR MOWED AREAS ONLY)
3" SHREDDED BARK MULCH, PULL MULCH BACK 4" FROM TRUNK
HUB STAKE

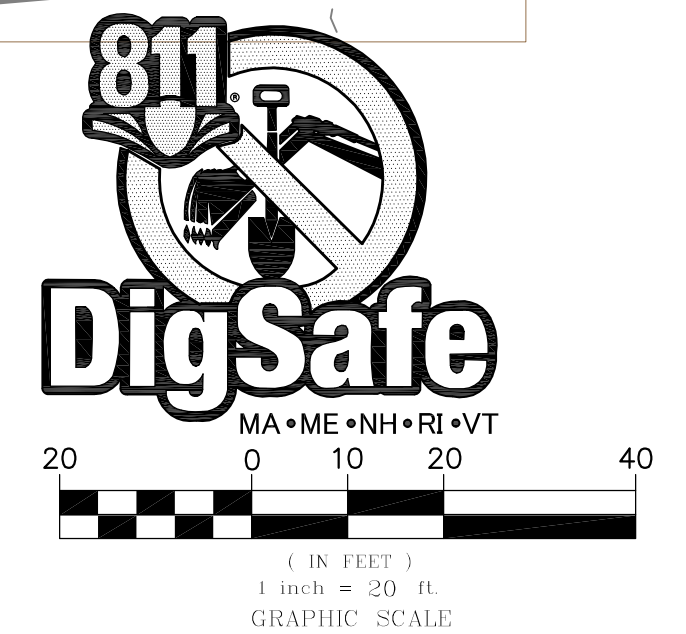
NOTES:
1. GUYING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF GUYING AND STAKING.
2. TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
3. ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
4. TREE SHALL BE SET PLUMB, AFTER SETTLEMENT.
5. LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
6. CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO A PUBLIC RIGHT-OF-WAY, NEED TO BE PLANTED A MINIMUM OF 5 FEET FROM THE EDGE OF THE CITY SIDEWALK.



TREE PROTECTION NOT TO SCALE

EXISTING TREE: WRAP WITH TWO LAYERS OF BURLAP AND WITH TWO LAYERS OF STANDARD SNOW FENCE. WIRE TO FASTEN SECURELY.
TREE PROTECTION FENCE, USE STANDARD SNOW FENCE, 4' HT
METAL POST TO SUPPORT FENCE, (6 REQUIRED), DRIVEN INTO THE GROUND 2'-0" MIN., EQUAL SPACING AROUND TREE.

GENERAL LANDSCAPE NOTES:
1. NO PLANTINGS CONFLICT WITH SNOW STORAGE AREAS.
2. NO LANDSCAPING CONFLICTS WITH SIGHT DISTANCE.
3. 1 PERIMETER TREE / 20 FEET OF PARKING PERIMETER: 300 LF/20 = 15 TREES REQUIRED (22 PERIMETER TREES PROVIDED)
4. 1 INTERNAL TREE / 15 PARKING SPACES: 58 SPACES / 15 = 3.8 REQUIRED (6 INTERNAL PROVIDED)



Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

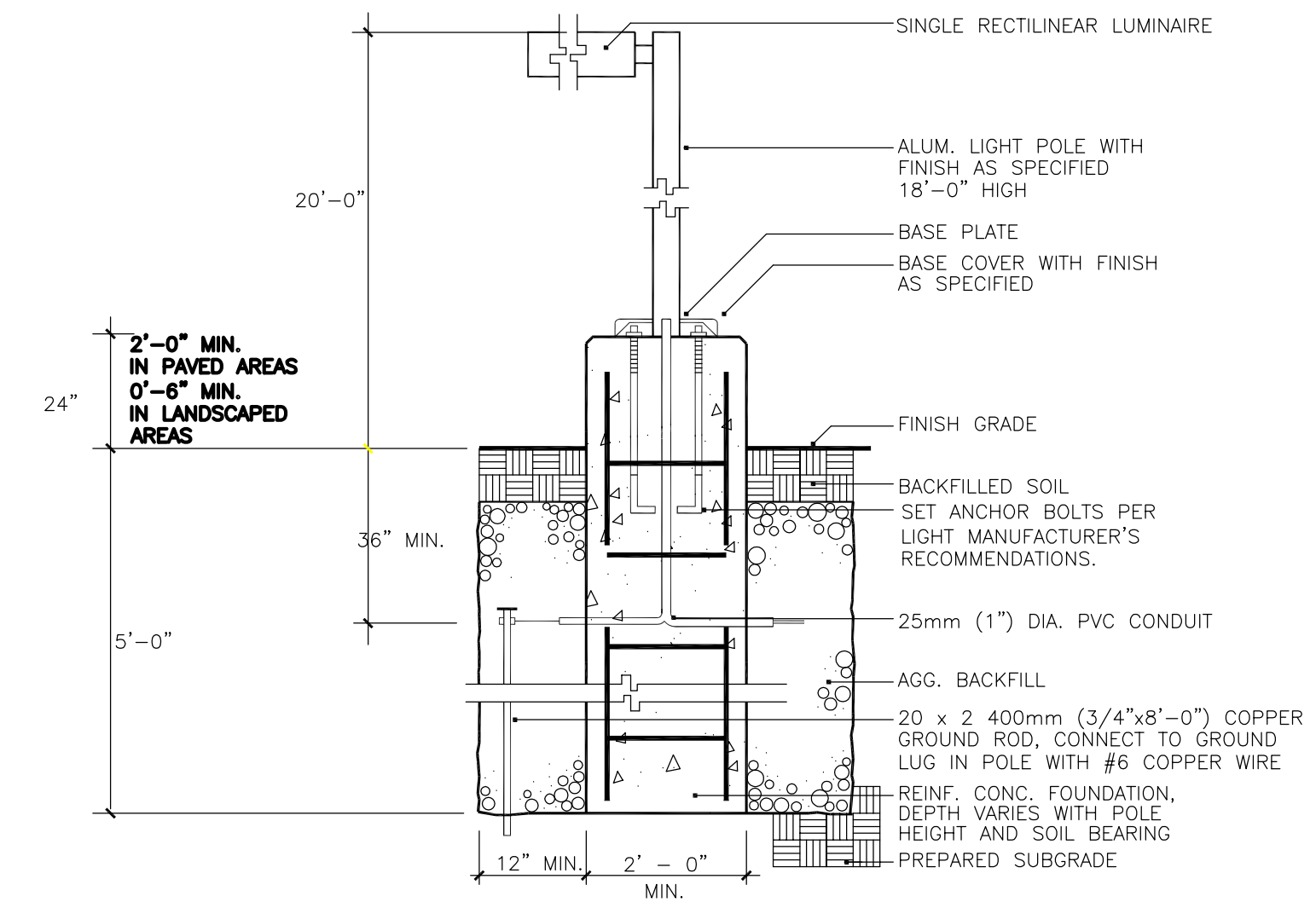
LANDSCAPE PLAN
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS				
DATE	DESCRIPTION	DWN BY	CK BY	
4-4-19	EDITS PER PLANNING BOARD	JR	JR	
5-20-19	EDITS PER AOT COMMENTS	JR	JR	
6-17-19	EDITS TO DRIVES PER NHDOT COMMENTS	JR	JR	
6-19-19	EDITS PER AOT COMMENTS	BT	JR	

Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

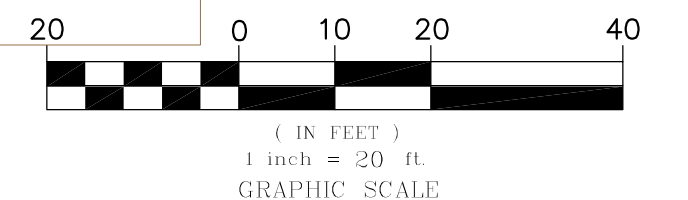
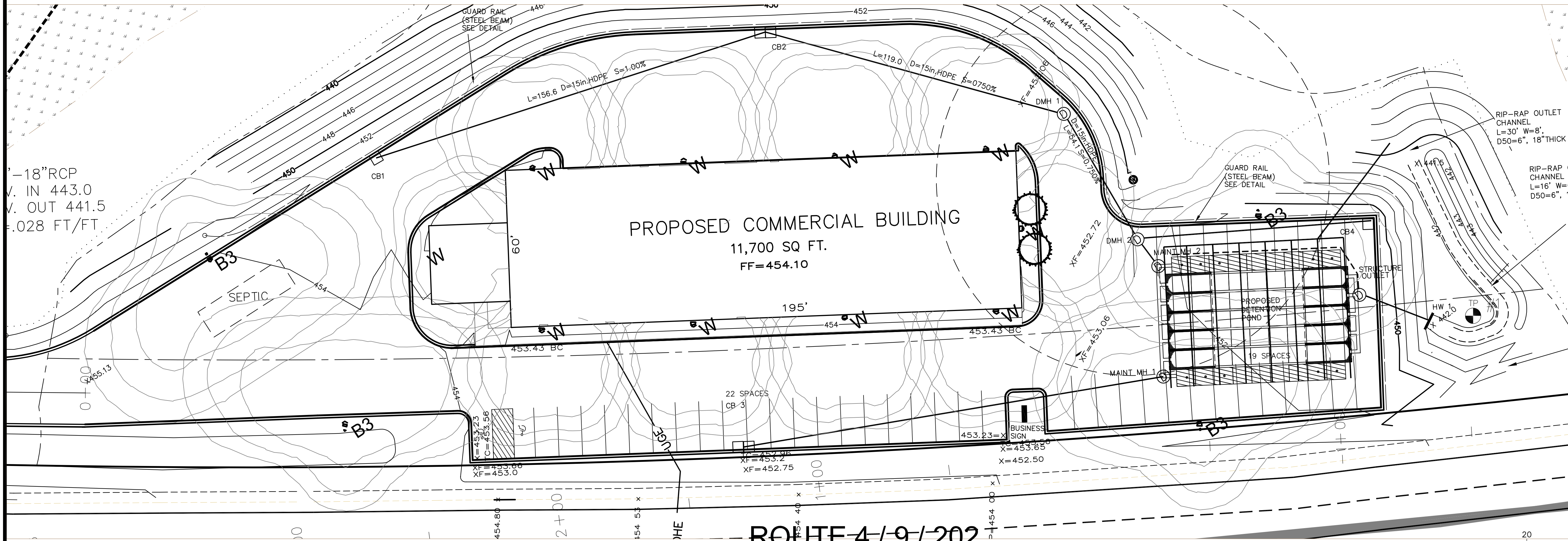
SCALE: 1" = 20"
DATE: DECEMBER 7, 2018
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 8 OF 14

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	W	10	Lithonia Lighting	KAXW LED P2 40K R4 MVOLT	KAXW LED, PERFORMANCE PACKAGE 2, 4000K, TYPE 4, 120-277V; mounted at 18ft	LED	1	KAXW_LED_P2_40K_R4_MVOLT.ies	6284	0.9	49
	B3	4	Lithonia Lighting	RSX1 LED P2 40K R3 MVOLT RPA DDBXD	RSX Area Fixture Size 1 P2 Lumen Package 4000K CCT Type R3 Distribution; mounted at 20ft (18ft pole on 2ft base)	LED	1	RSX1_LED_P2_40K_R3.ies	9843	0.9	72.95



LIGHT POLE BASE

NOT TO SCALE



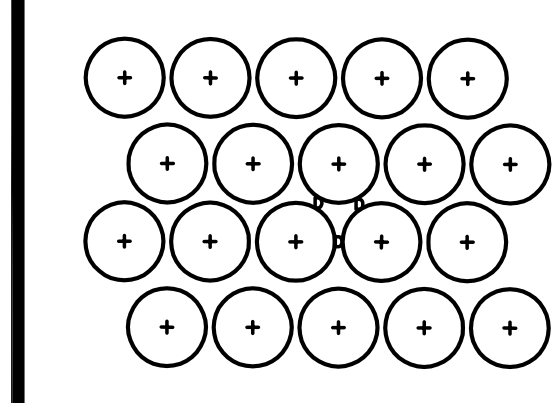
Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

LIGHTING PLAN
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

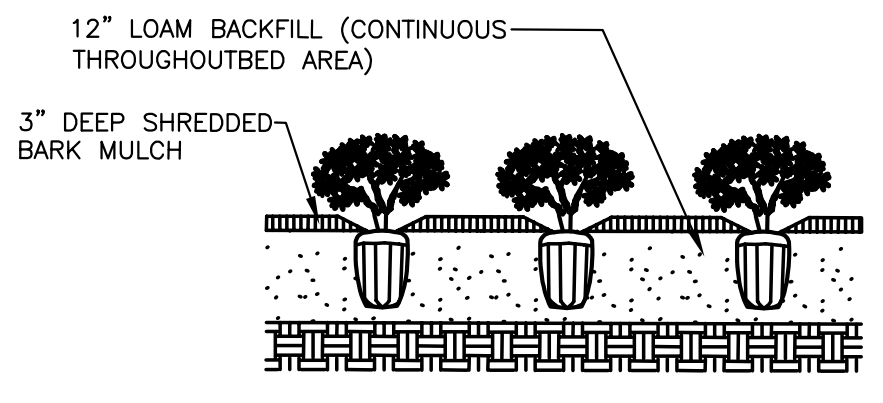
DATE	DESCRIPTION	DWN BY	CK BY
4-4-19	EDITS PER PLANNING BOARD	JR	JR
5-20-19	EDITS PER AOT COMMENTS	JR	JR
6-17-19	EDITS TO DRIVES PER NHDOT COMMENTS	JR	JR
6-19-19	EDITS PER AOT COMMENTS	BT	JR

Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

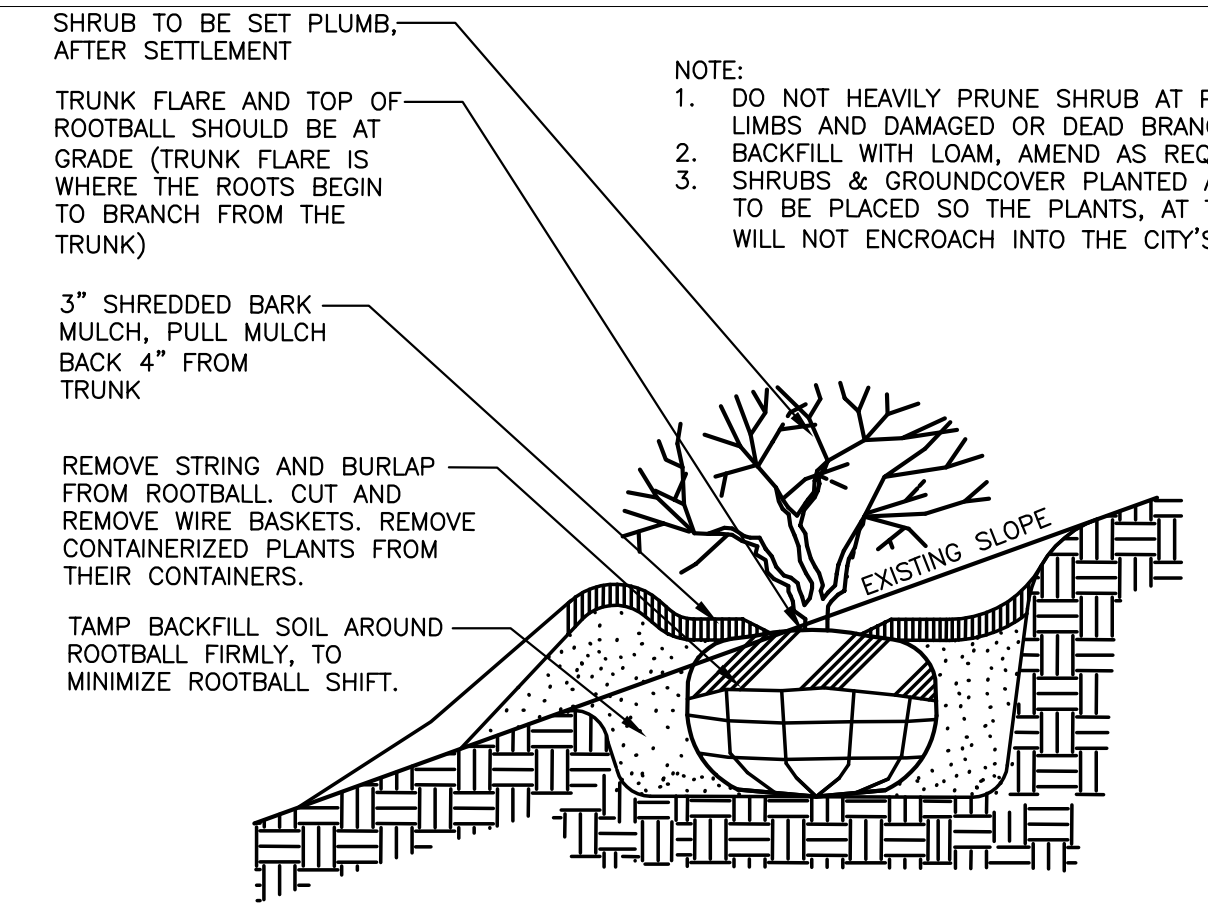
SCALE: 1" = 20"
DATE: DECEMBER 7, 2018
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 9 OF 14



TYPICAL BED PLANT SPACING
NOTE: D = DIMENSION OF PLANT SPACING (SHRUB OR GROUNDCOVER AS INDICATED ON PLANS)

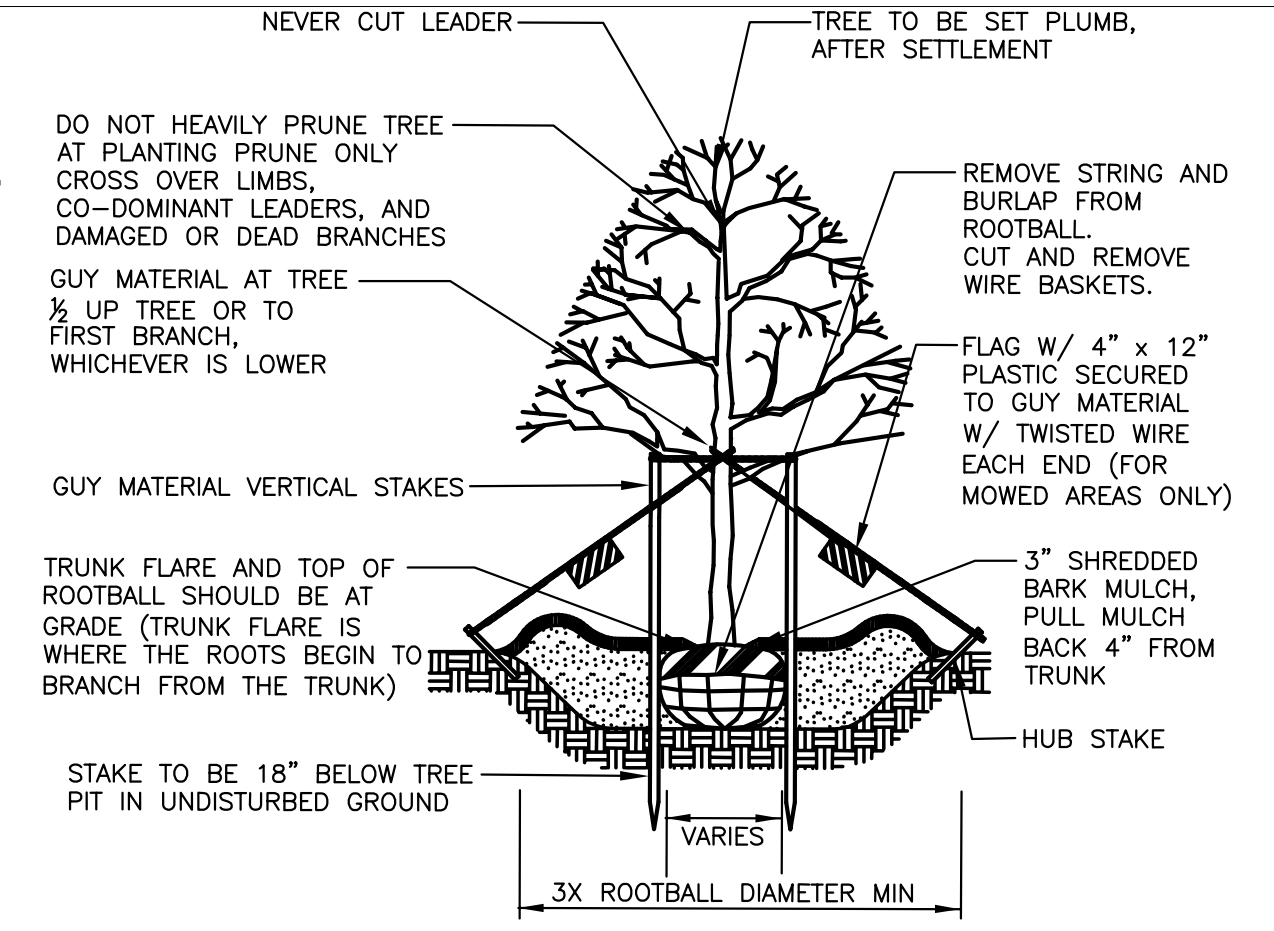


GROUNDCOVER BED PLANTING



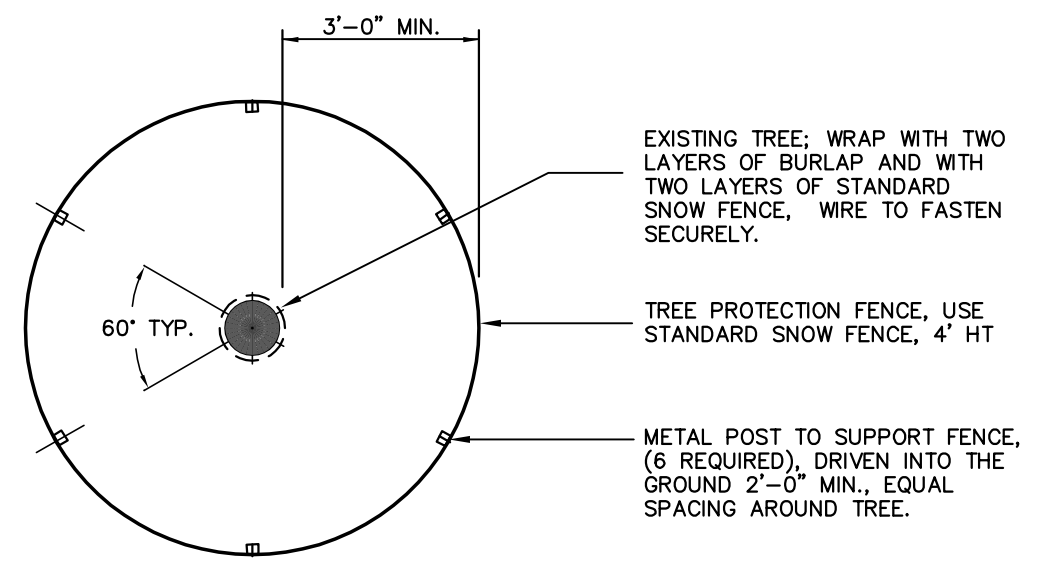
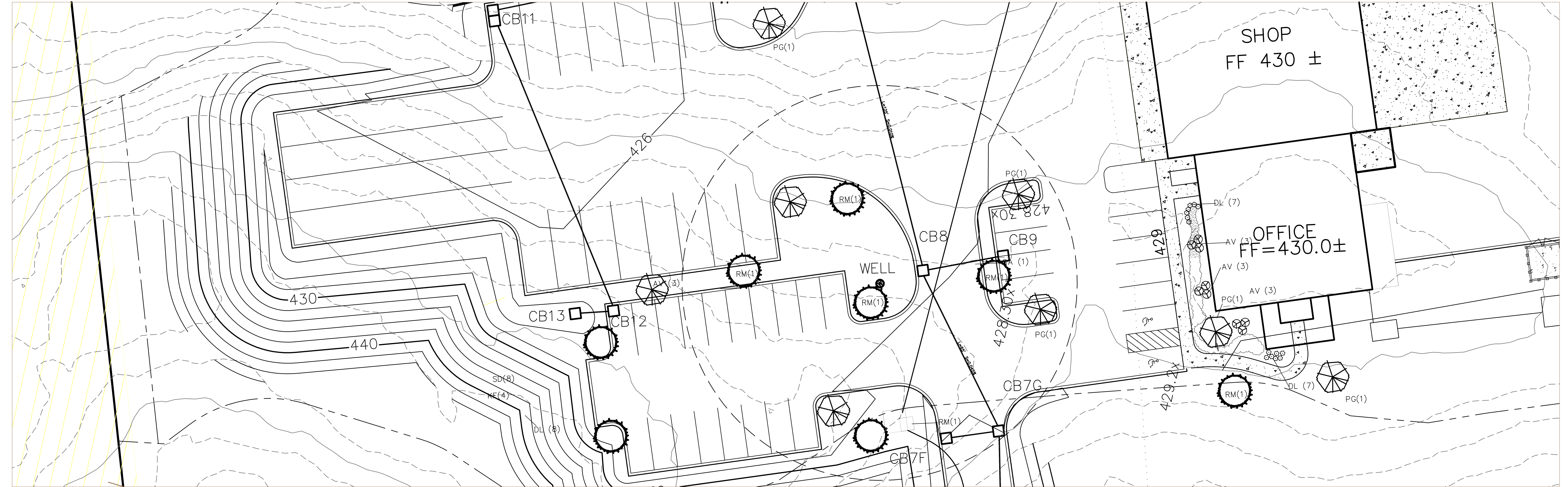
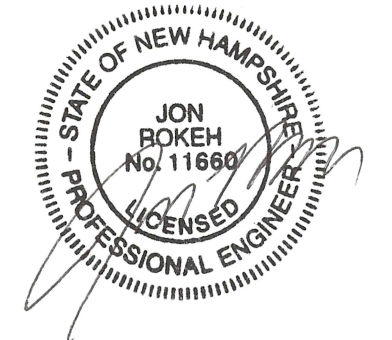
SHRUB TO BE SET PLUMB, AFTER SETTLEMENT
TRUNK FLARE AND TOP OF ROOTBALL SHOULD BE AT GRADE (TRUNK FLARE IS WHERE THE ROOTS BEGIN TO BRANCH FROM THE TRUNK)
3" SHREDDED BARK MULCH, PULL MULCH BACK 4" FROM TRUNK
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TAMP BACKFILL SOIL AROUND ROOTBALL FIRMLY, TO MINIMIZE ROOTBALL SHIFT.

NOTE:
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3" SHREDDED BARK MULCH, PULL MULCH BACK 4" FROM TRUNK
HUB STAKE
VARIES
3X ROOTBALL DIAMETER MIN

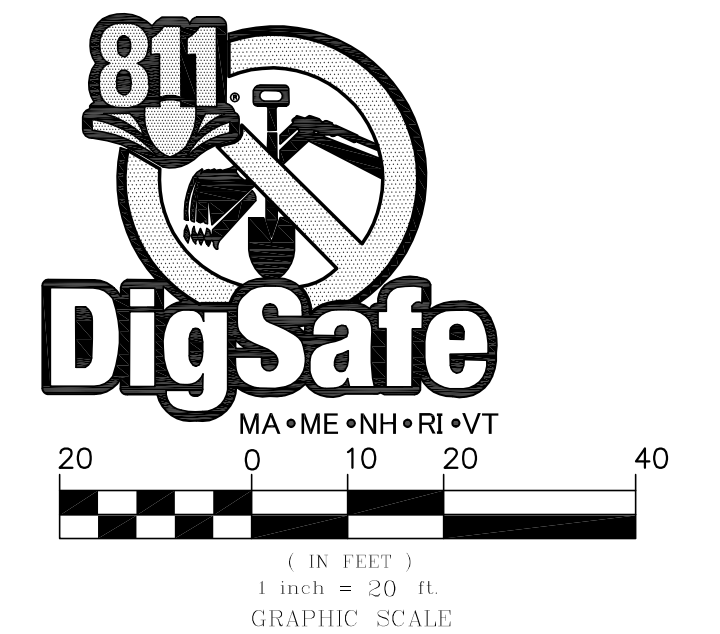
NOTES:
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TREE PROTECTION

NOT TO SCALE

GENERAL LANDSCAPE NOTES:
1. NO PLANTINGS CONFLICT WITH SNOW STORAGE AREAS.
2. NO LANDSCAPING CONFLICTS WITH SIGHT DISTANCE.
3. 1 PERIMETER TREE / 20 FEET OF PARKING PERIMETER: 300 LF/20 = 15 TREES REQUIRED (22 PERIMETER TREES PROVIDED)
4. 1 INTERNAL TREE / 15 PARKING SPACES: 58 SPACES / 15 = 3.8 REQUIRED (6 INTERNAL PROVIDED)



Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

LANDSCAPE PLAN
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS			
DATE	DESCRIPTION	DWN BY	CK BY
3-12-20	EDITS TO CONTRACTOR YARD LAYOUT	JR	JR

Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 20"
DATE: DECEMBER 7, 2018
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 10 OF 23

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	W	10	Lithonia Lighting	KAXW LED P2 40K R4 MVOLT	KAXW LED, PERFORMANCE PACKAGE 2, 4000K, TYPE 4, 120-277V; mounted at 18ft	LED	1	KAXW_LED_P2_40K_R4_MVOLT.ies	6284	0.9	49
	B3	4	Lithonia Lighting	RSX1 LED P2 40K R3 MVOLT RPA DDBXD	RSX Area Fixture Size 1 P2 Lumen Package 4000K CCT Type R3 Distribution; mounted at 20ft (18ft pole on 2ft base)	LED	1	RSX1_LED_P2_40K_R3.ies	9843	0.9	72.95

LIGHT POLE BASE



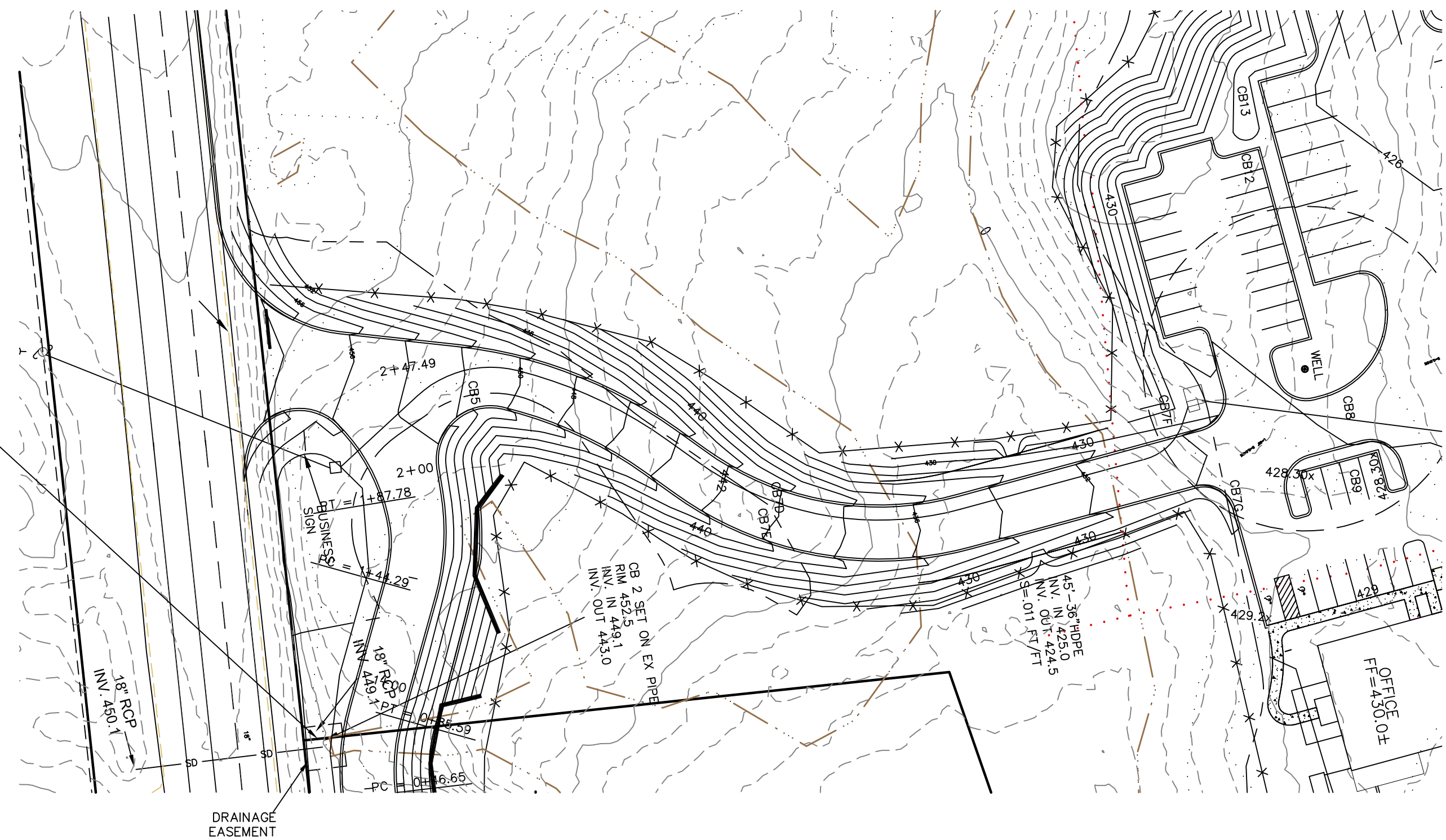
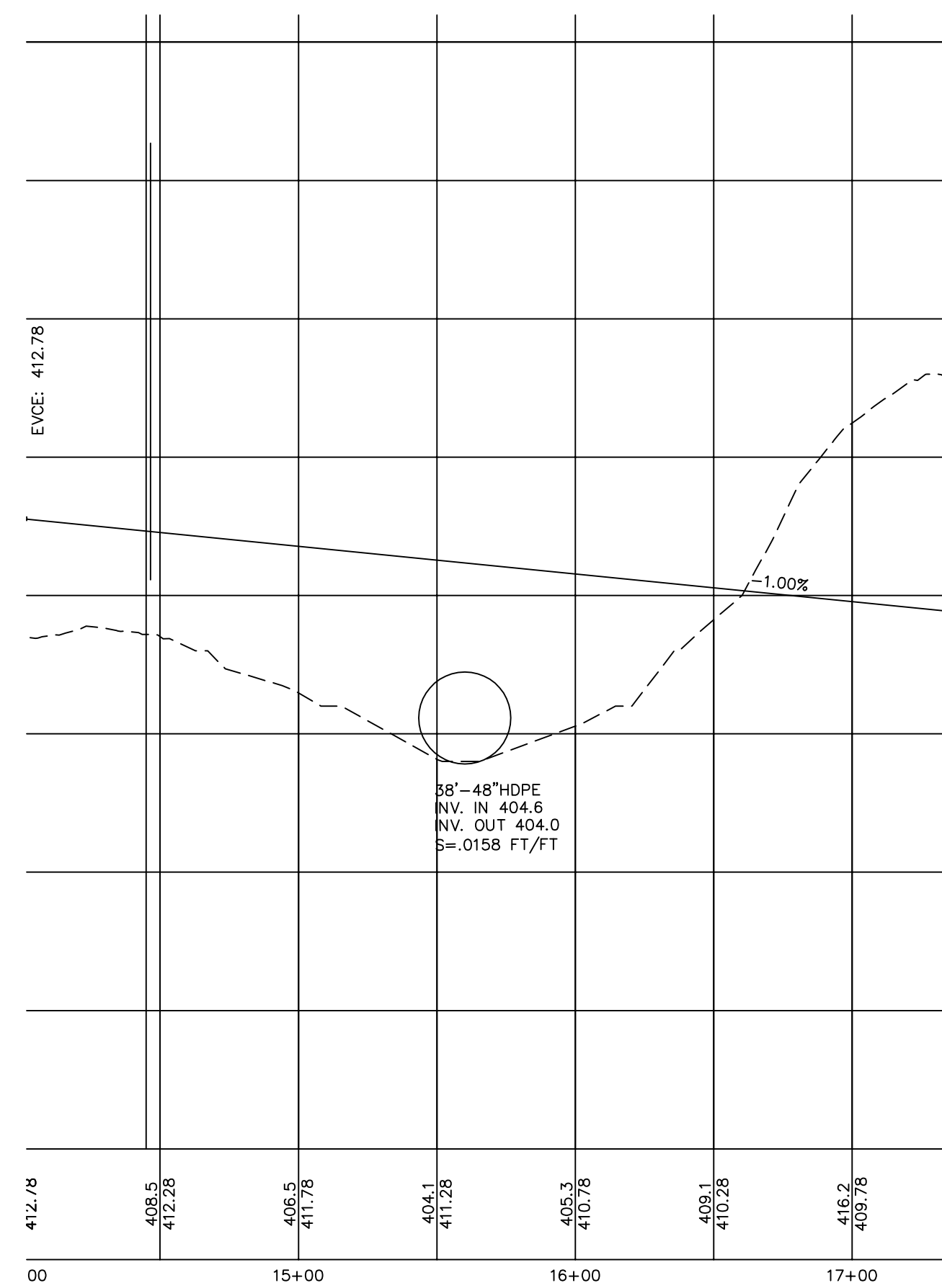
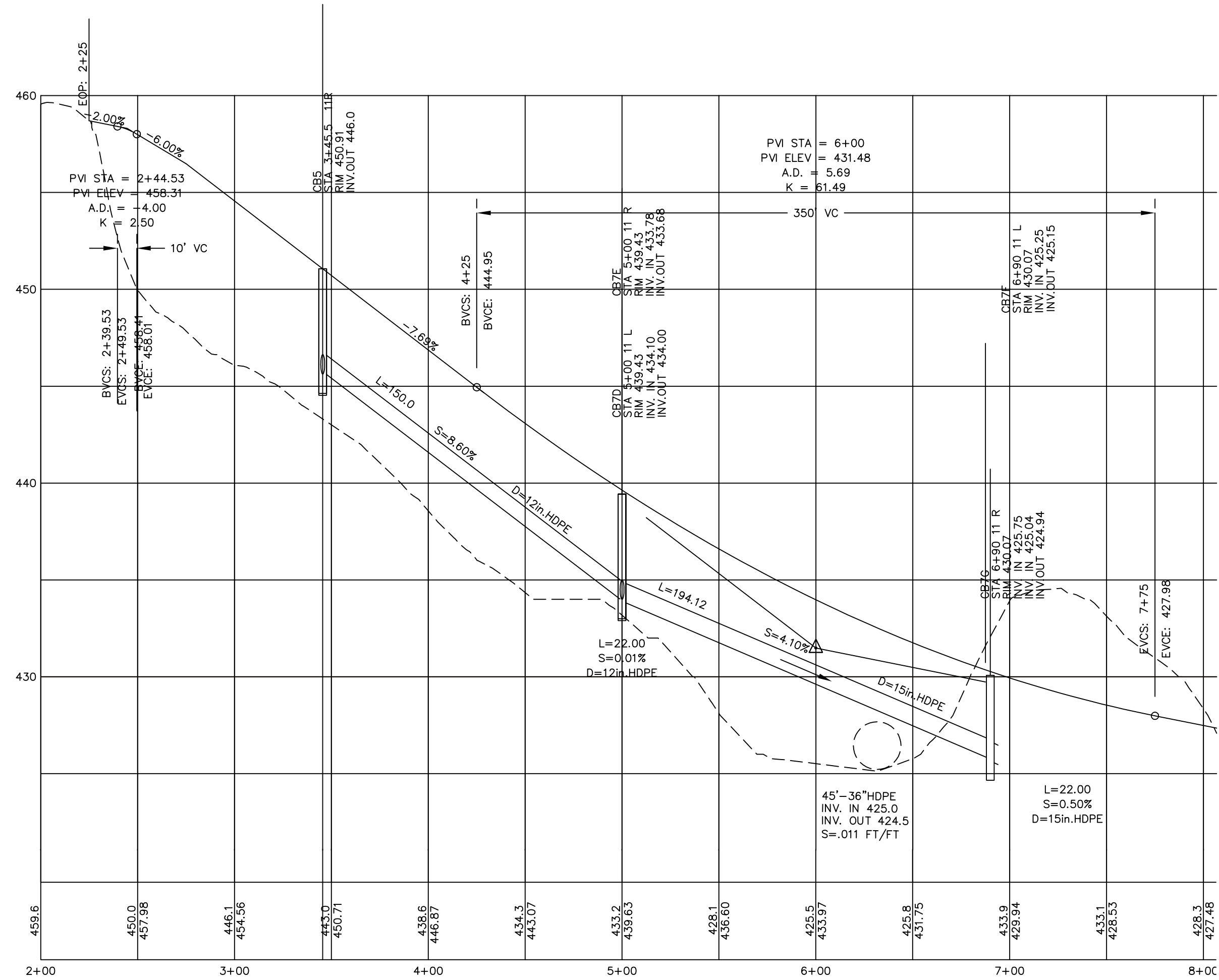
Developer:
 DBU CONSTRUCTION
 PO Box 984
 Epsom, NH 03234

LIGHTING PLAN
 COMMERCIAL SITE PLAN
 TAX PARCEL 4 LOT 151
 DOVER ROAD
 CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

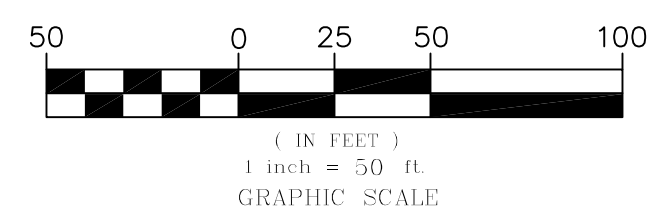
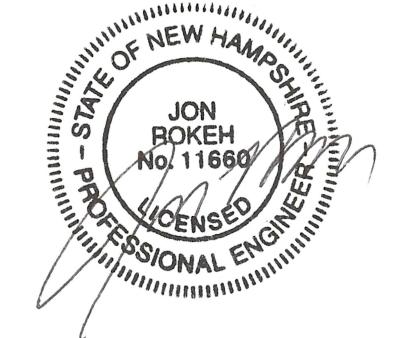
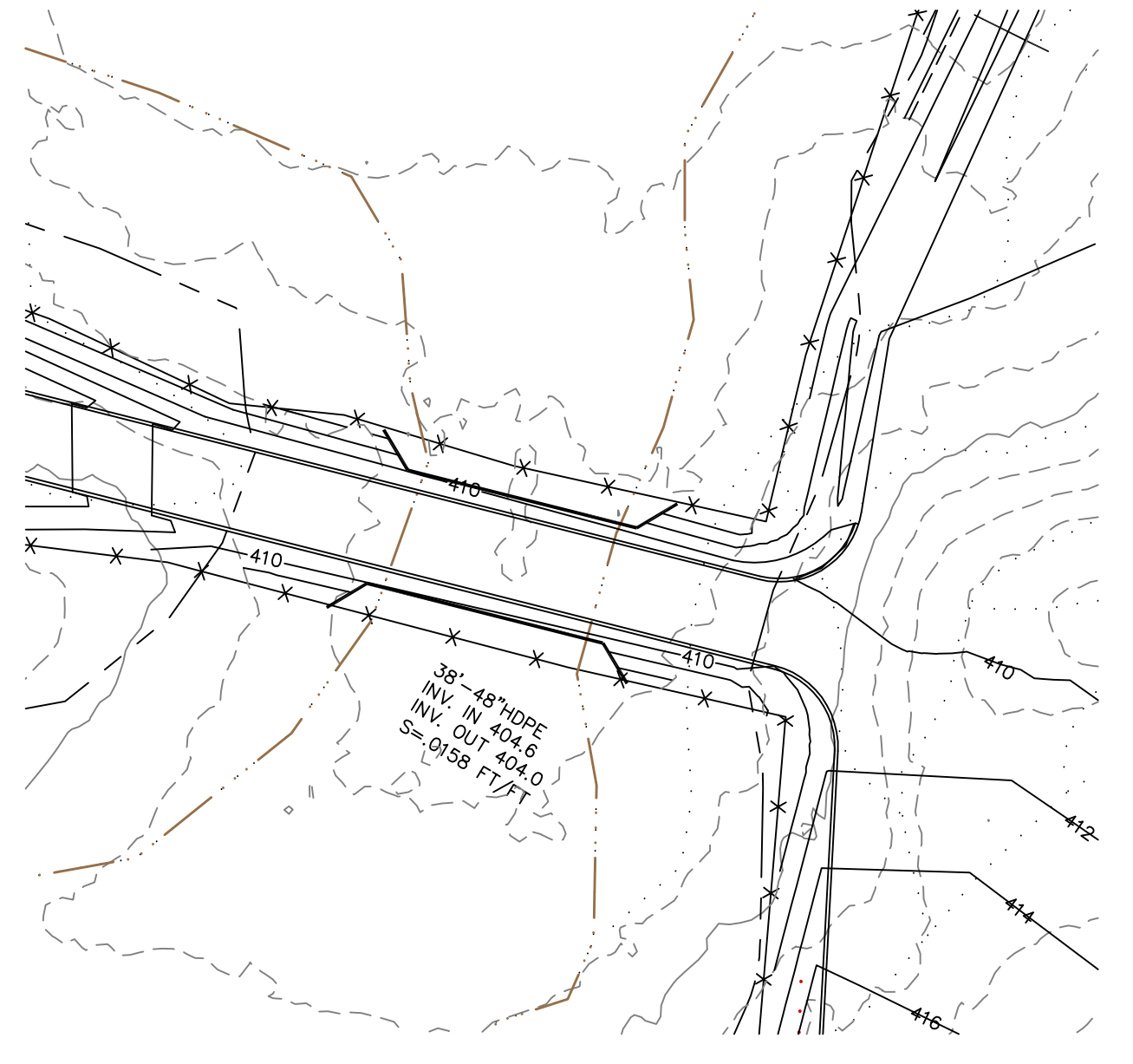
REVISIONS			
DATE	DESCRIPTION	DWN BY	CK BY
3-12-20	EDITS TO CONTRACTOR YARD LAYOUT	JR	JR

Rokeh Consulting, LLC
 89 KING ROAD, CHICHESTER, NH
 PH: 603-387-8688

SCALE: 1" = 20"
 DATE: DECEMBER 7, 2018
 DR. BY: JR CK. BY: JR
 JOB NO. _____
 SHEET NO. 11 OF 23



CB 2 IS TO BE INSTALLED AT THE LOCATION OF THE EXISTING OUTLET (HEADER TO BE REMOVED), AND ALL ADDITIONAL LENGTHS OF 18" RCP WILL BE OWNED AND MAINTAINED BY THE DRIVEWAY PERMITTEE. THE ANNULAR SPACE SHOULD BE SEALED/GROUTED.



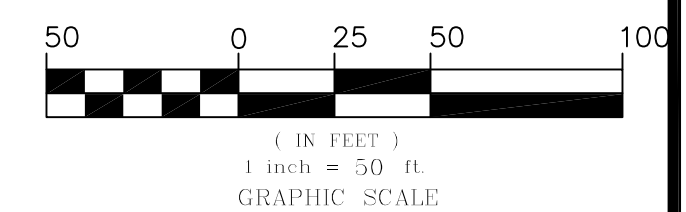
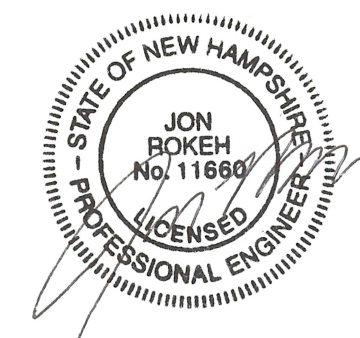
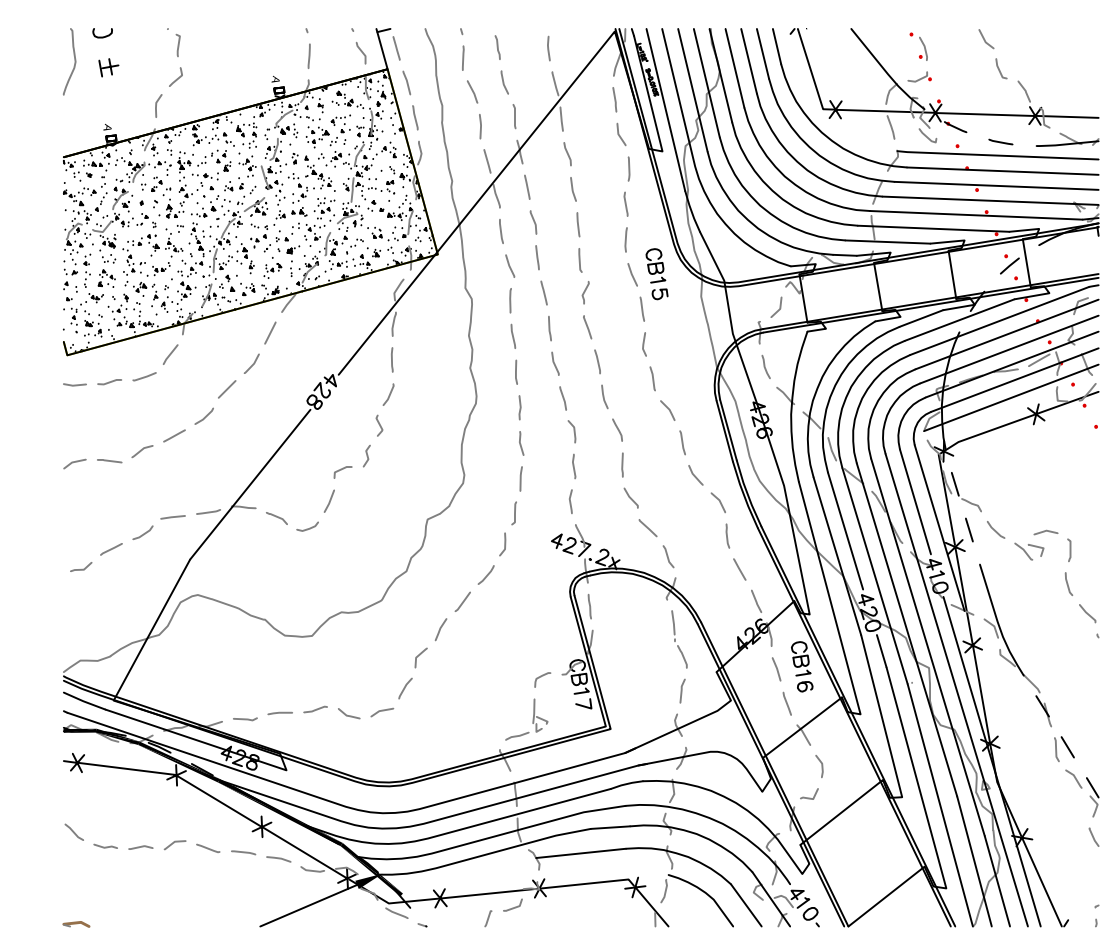
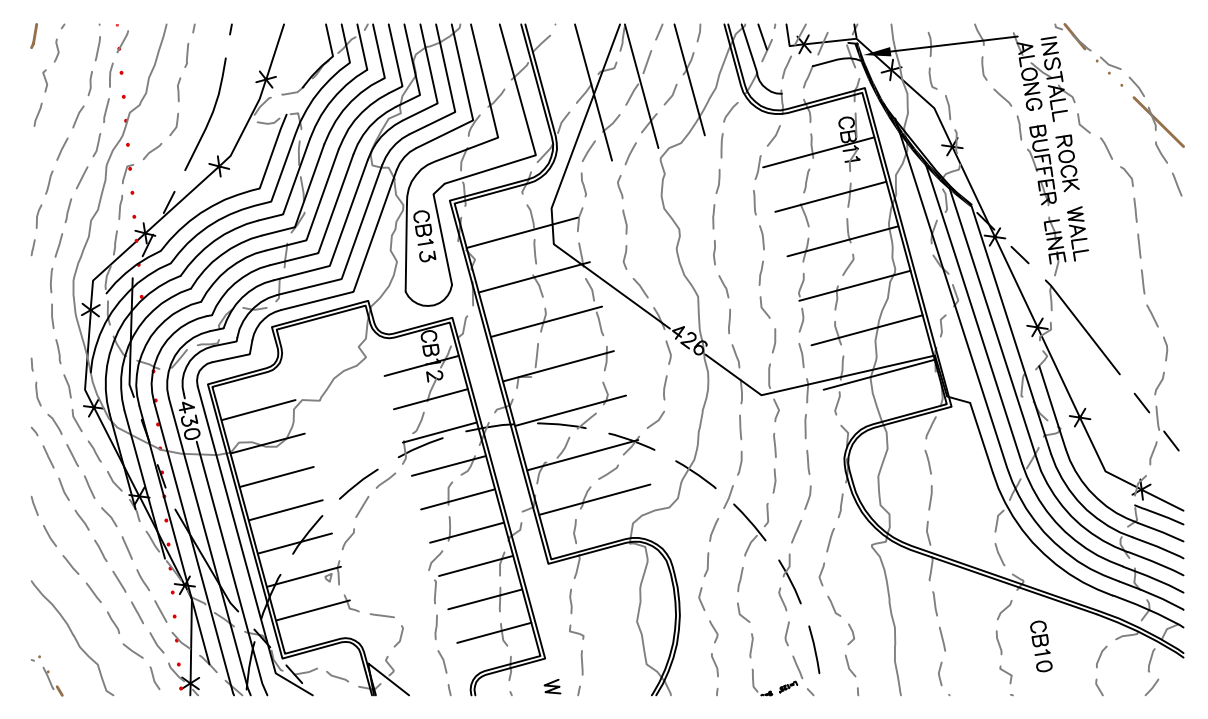
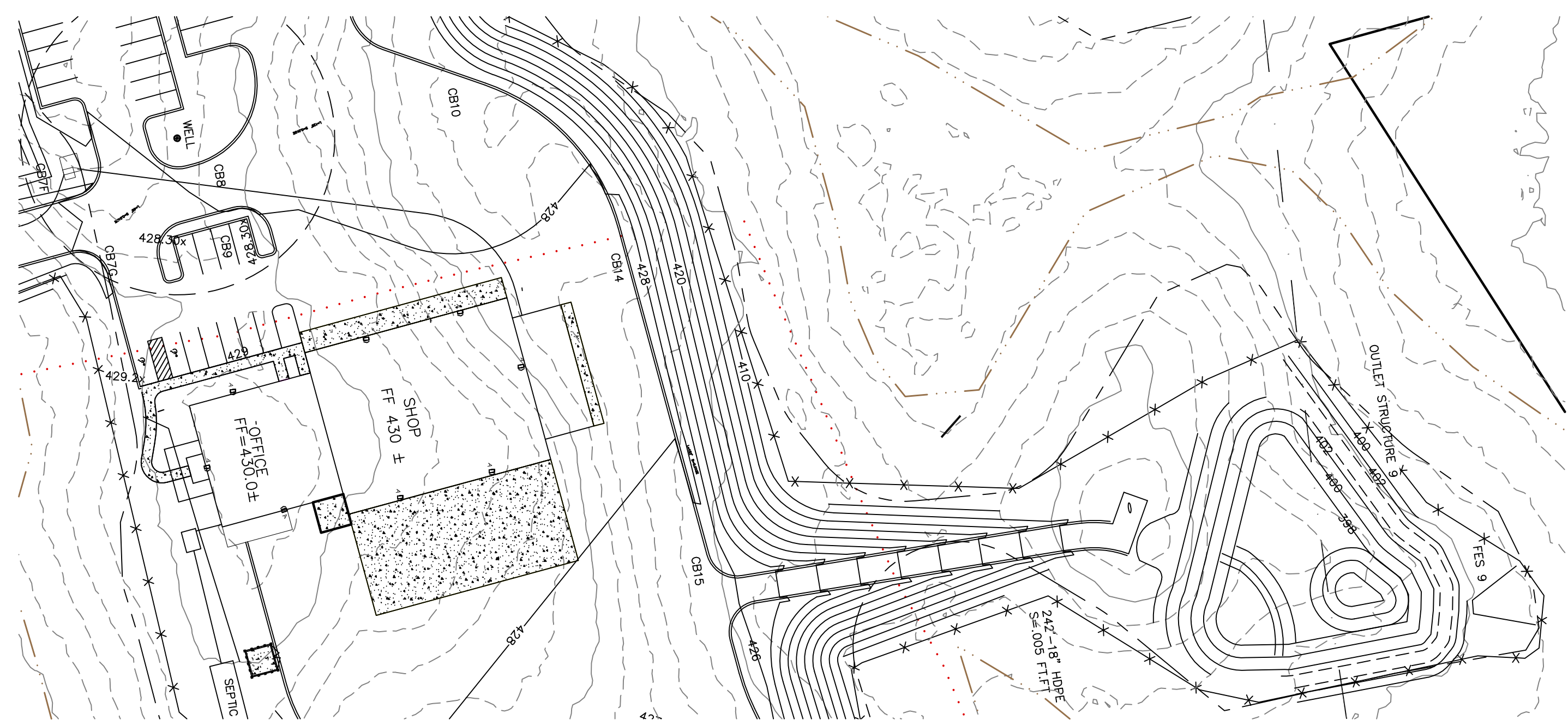
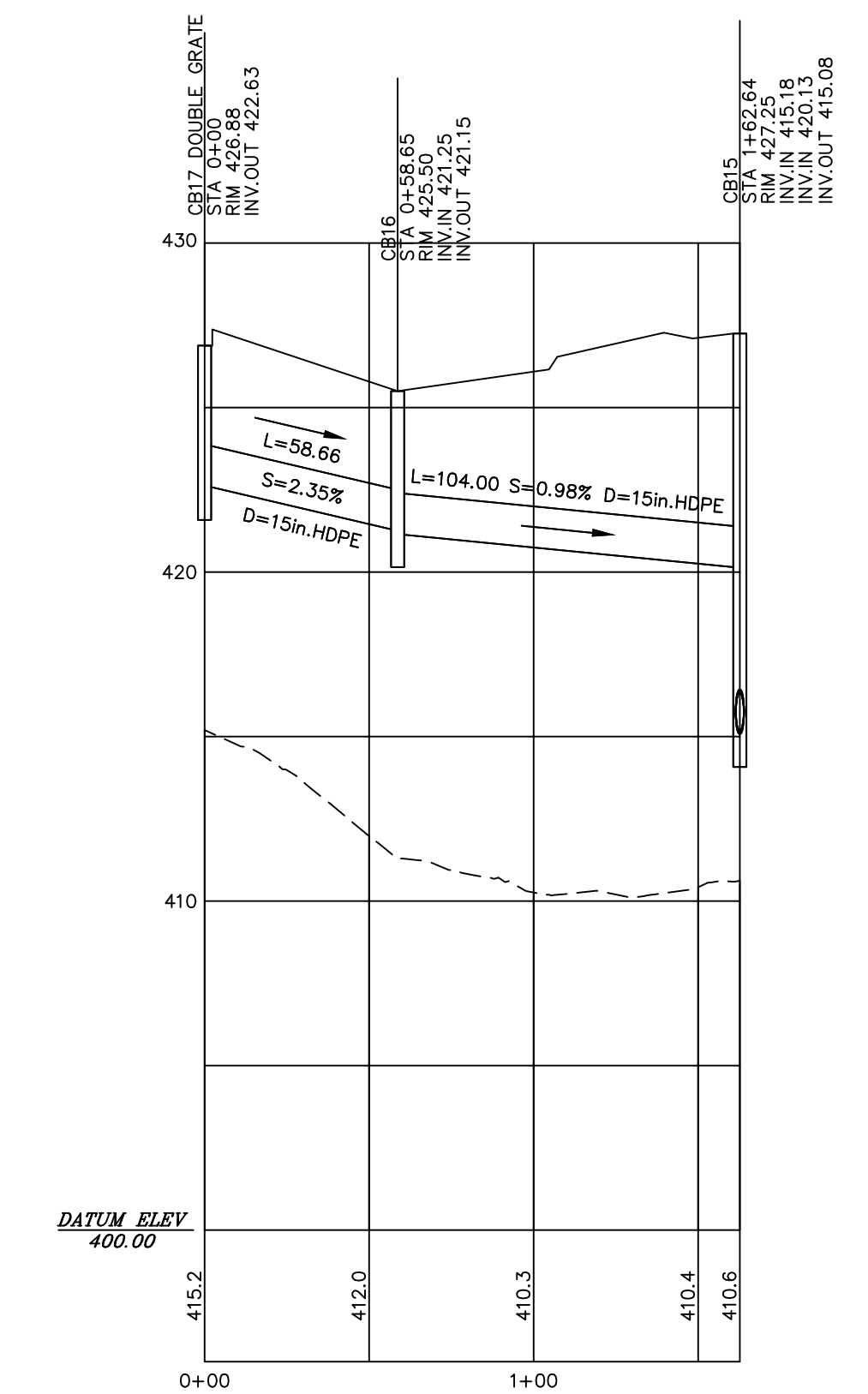
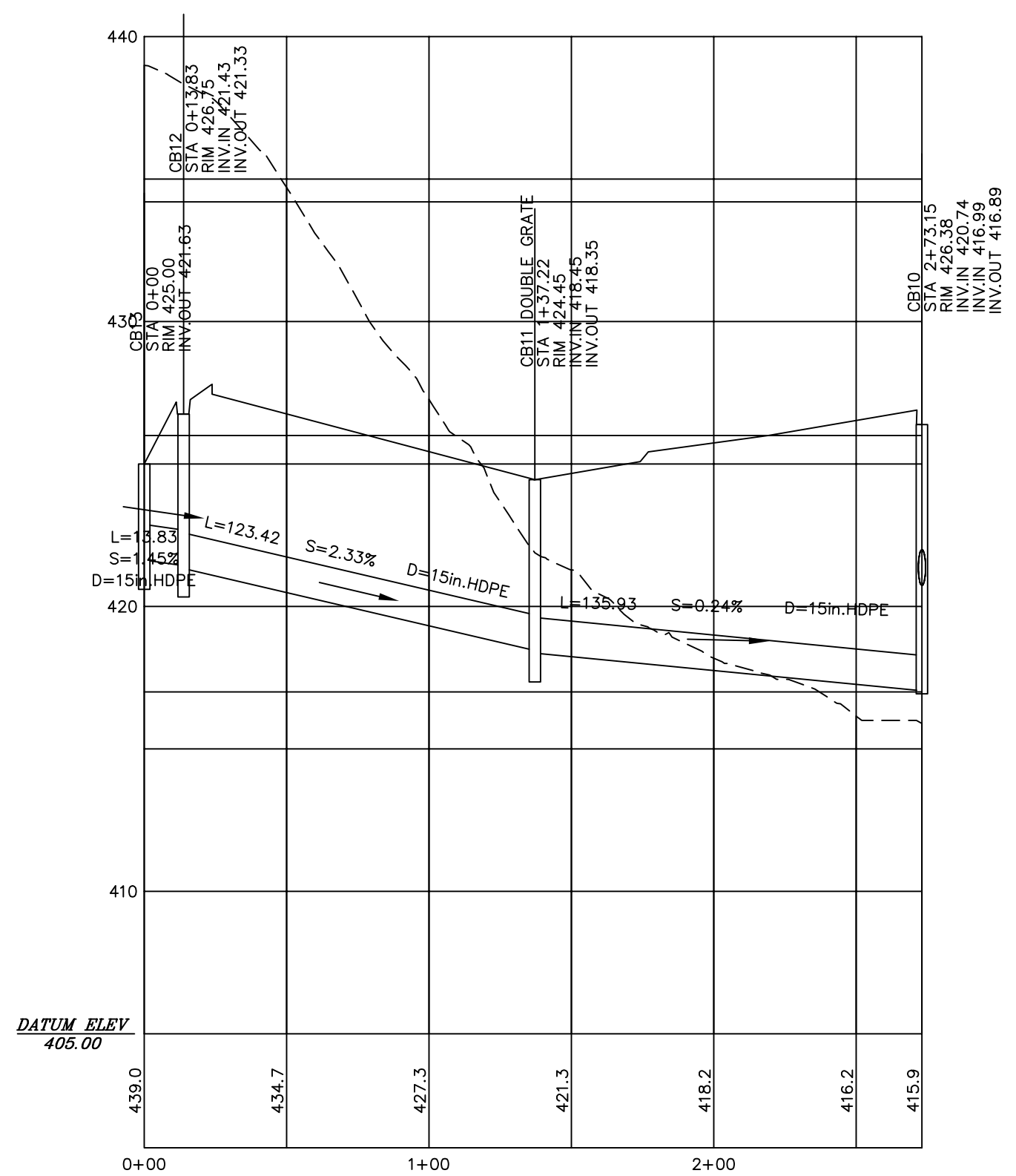
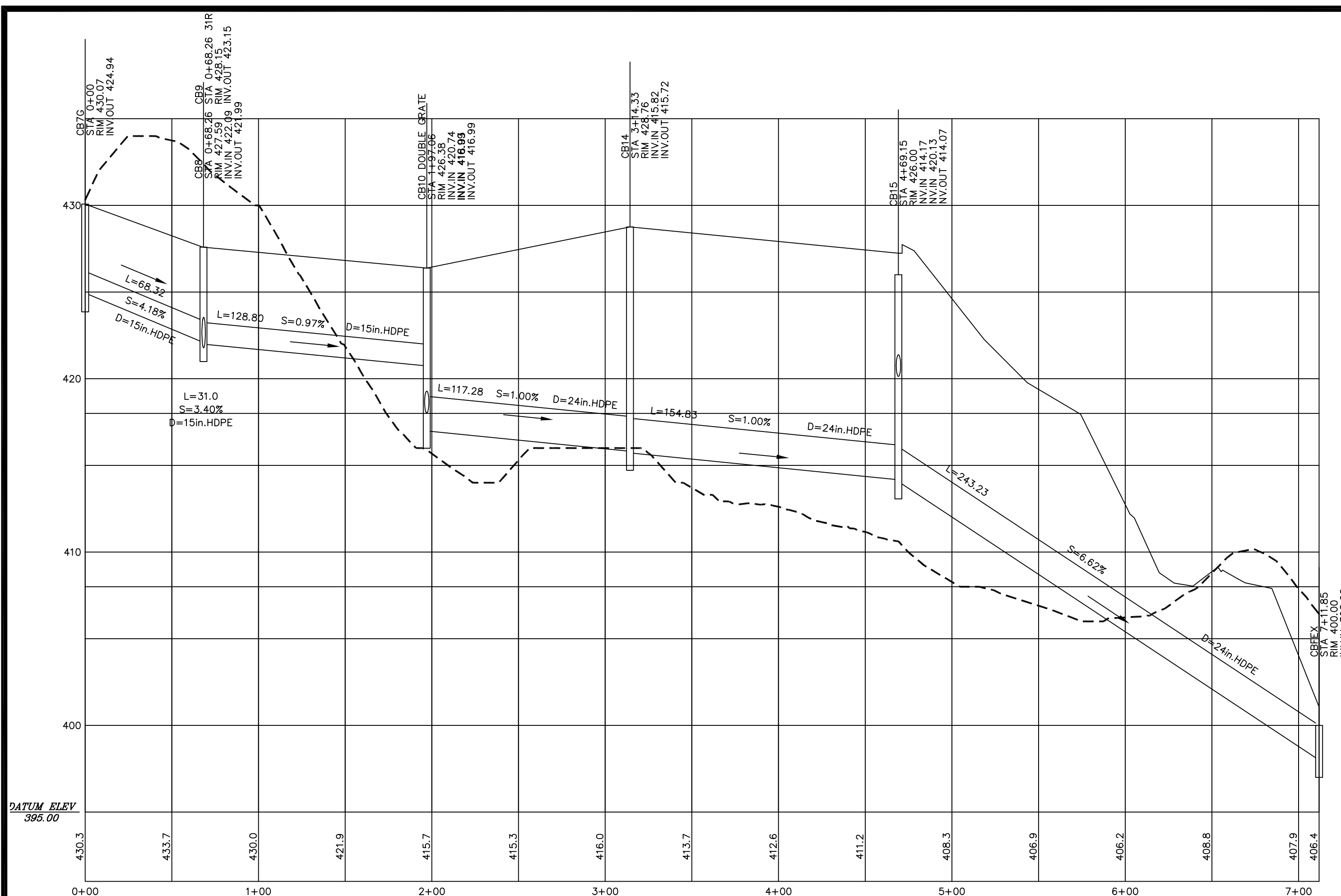
Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

ROADWAY AND DRAINAGE PROFILES
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS			
DATE	DESCRIPTION	DWN BY	CK BY
4-4-19	EDITS PER PLANNING BOARD	JR	JR
5-20-19	EDITS PER AOT COMMENTS	JR	JR
6-17-19	EDITS TO DRIVES PER NHDOT COMMENTS	JR	JR
9-10-19	EDITS TO DRIVES PER NHDOT COMMENTS	JR	JR
3-12-20	EDITS TO CONTRACTOR YARD LAYOUT	JR	JR

Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 50"
DATE: JANUARY 14, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 12 OF 23



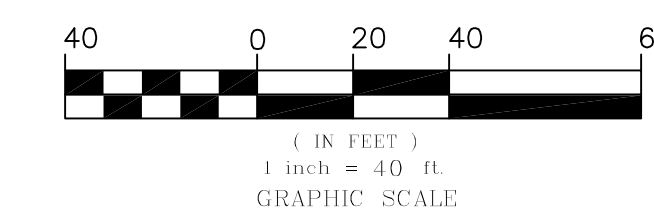
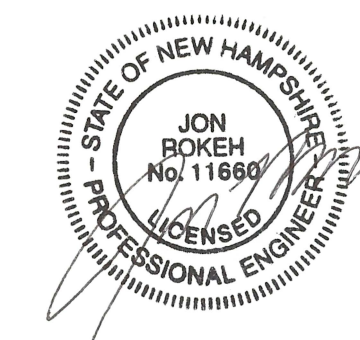
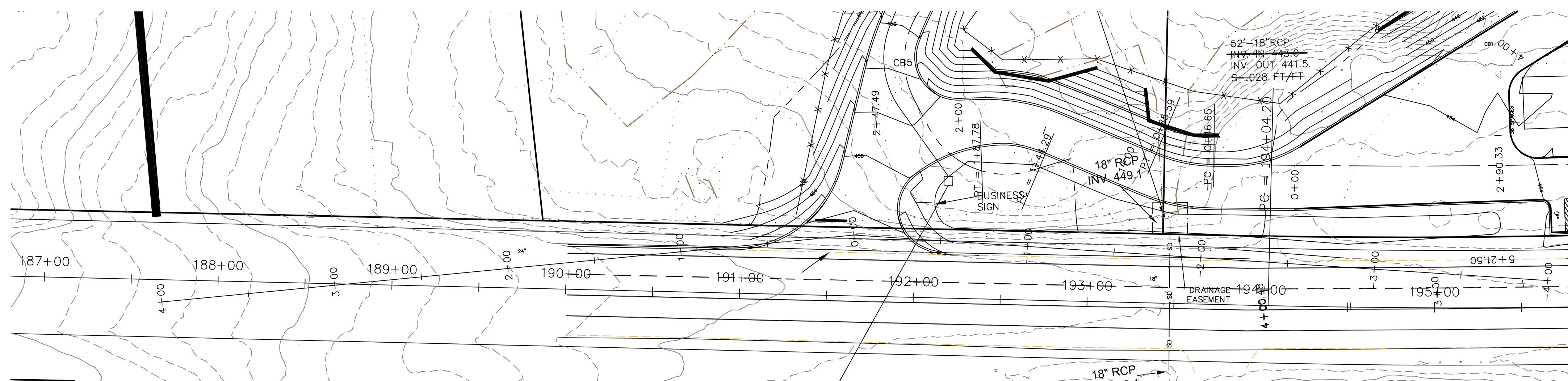
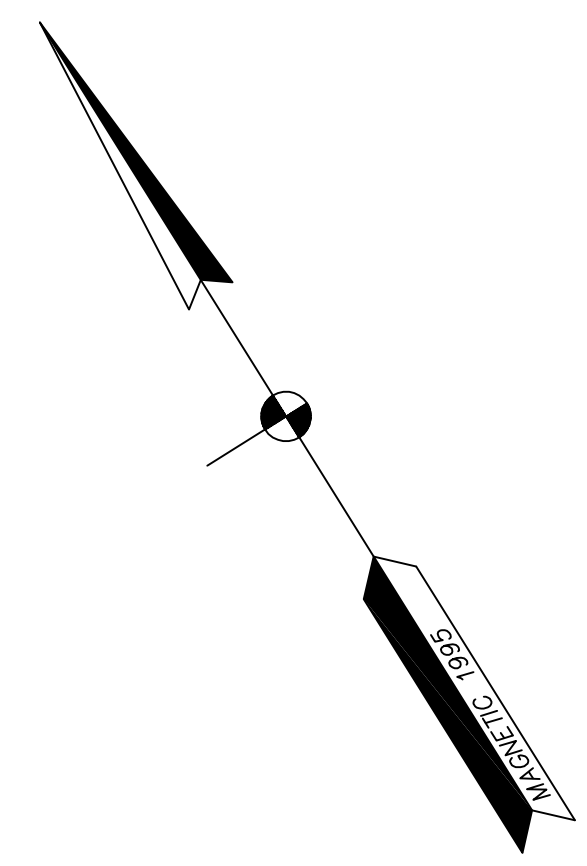
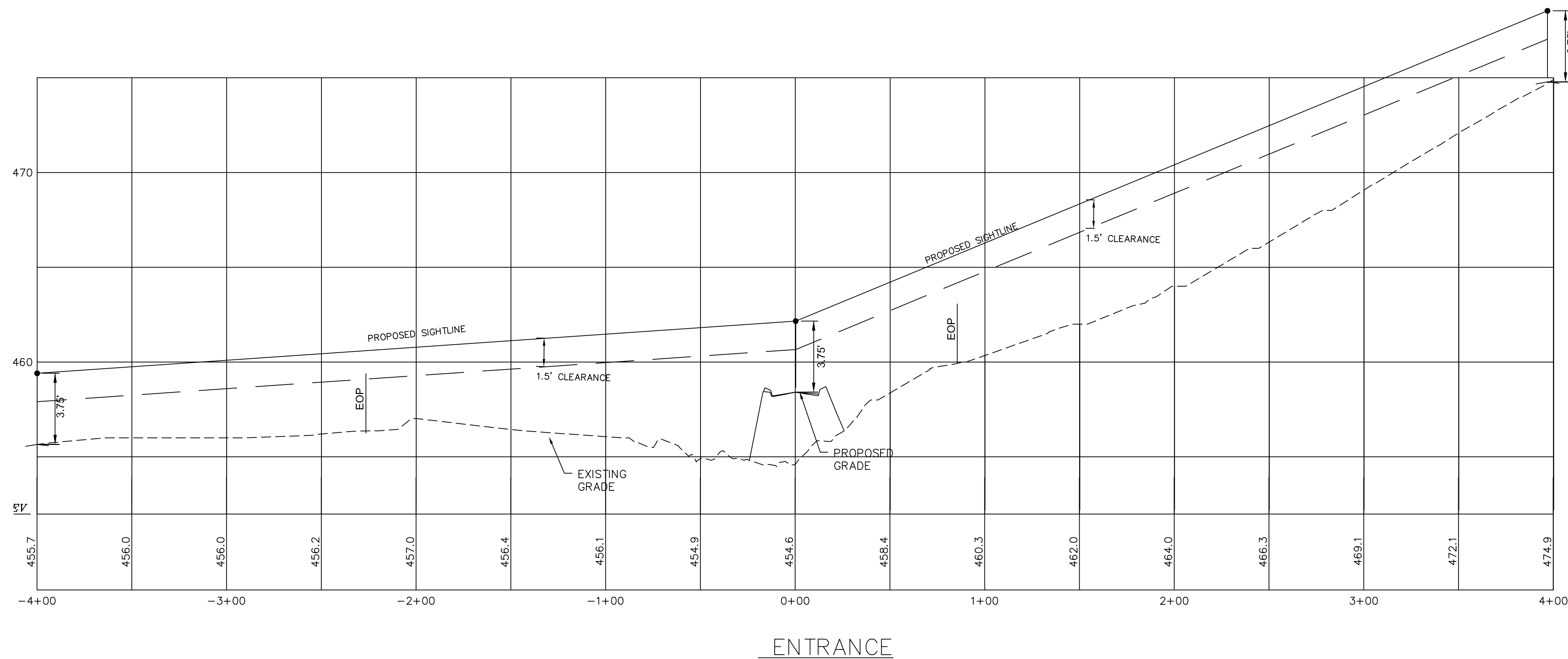
Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

ROADWAY AND DRAINAGE PROFILES
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS			
DATE	DESCRIPTION	DWN BY	CK BY
3-12-20	EDITS TO CONTRACTOR YARD LAYOUT	JR	JR

Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 50"
DATE: JANUARY 14, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 13 OF 23



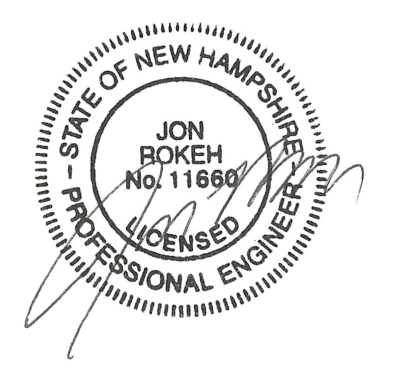
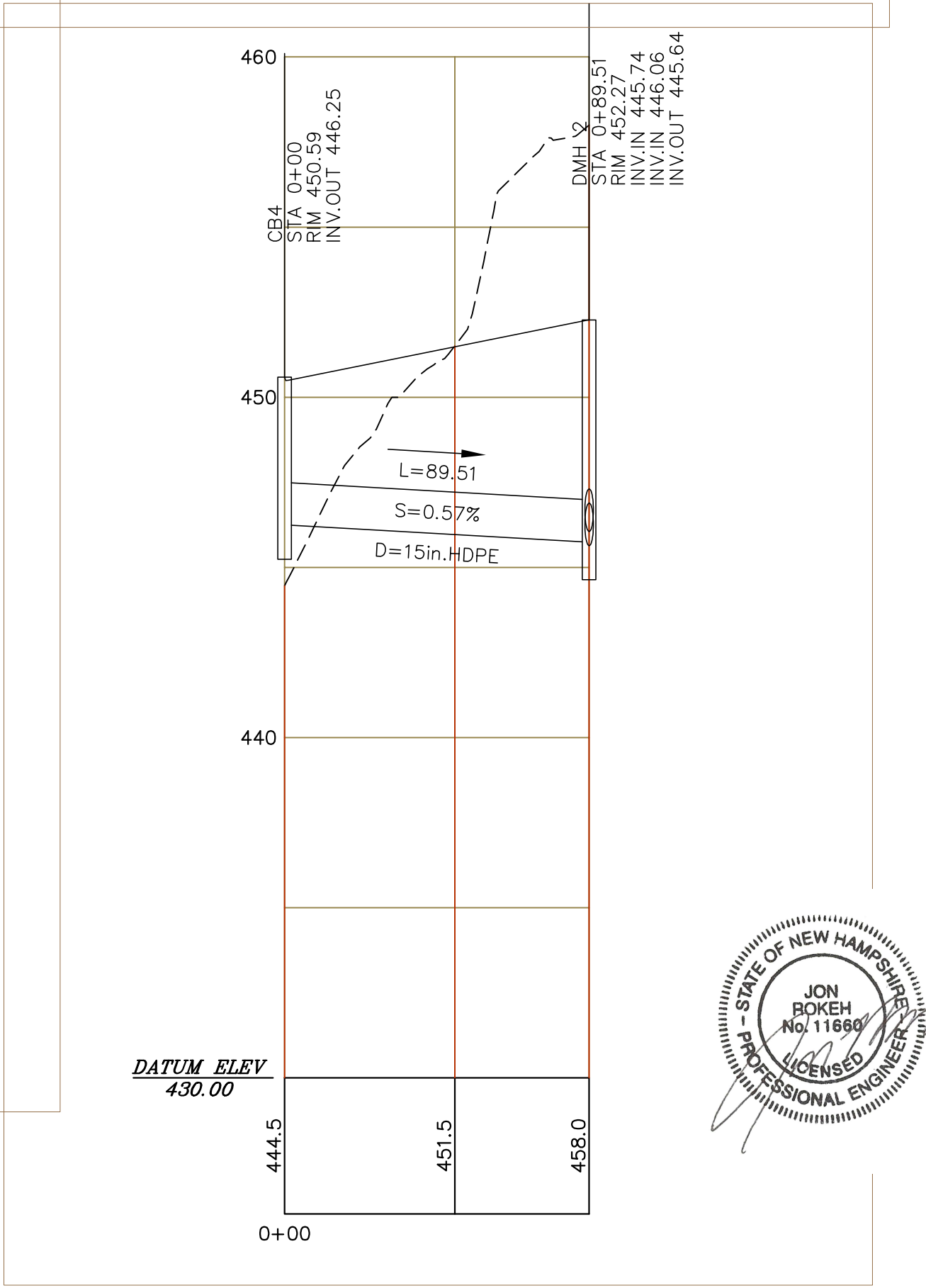
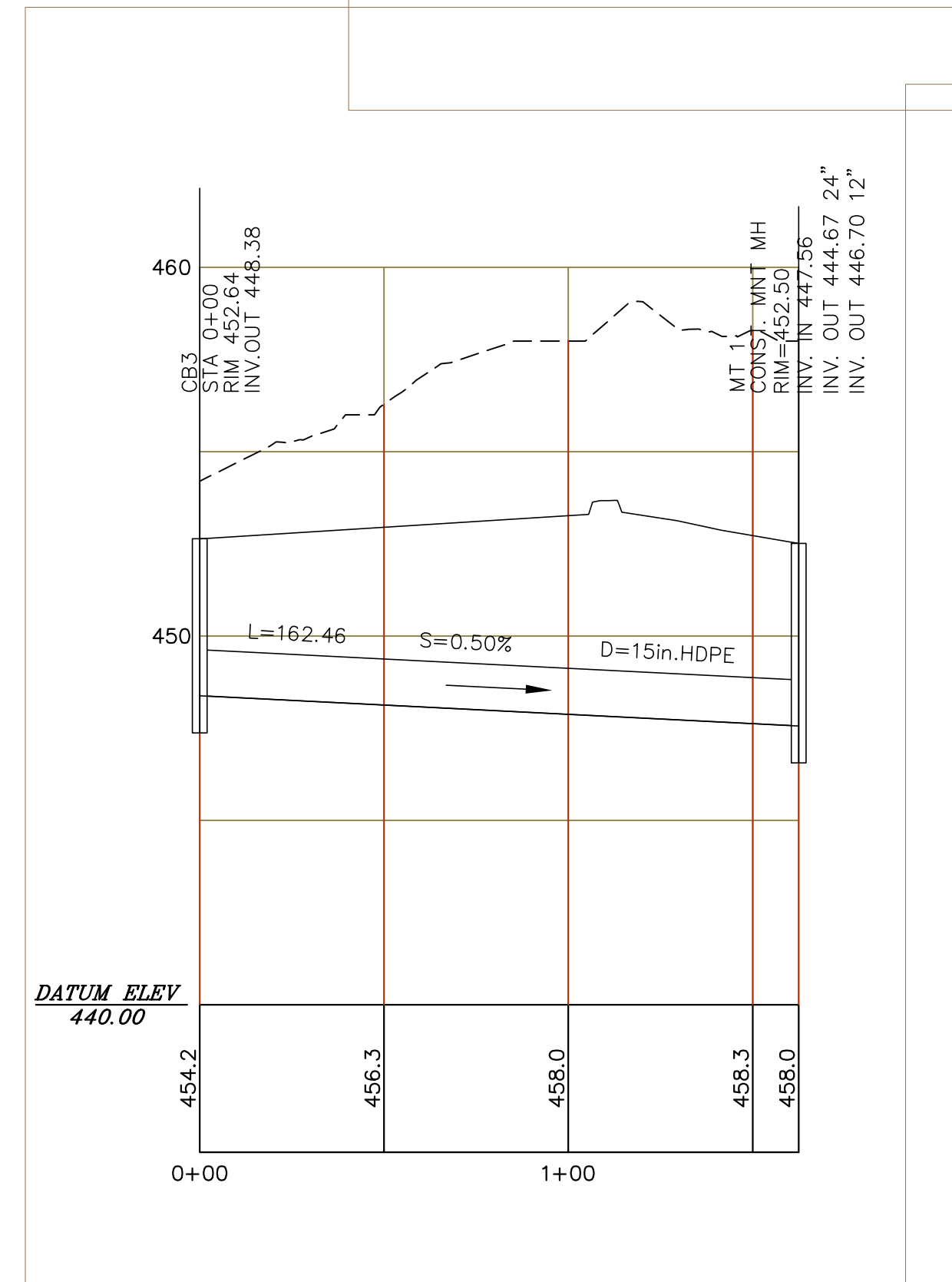
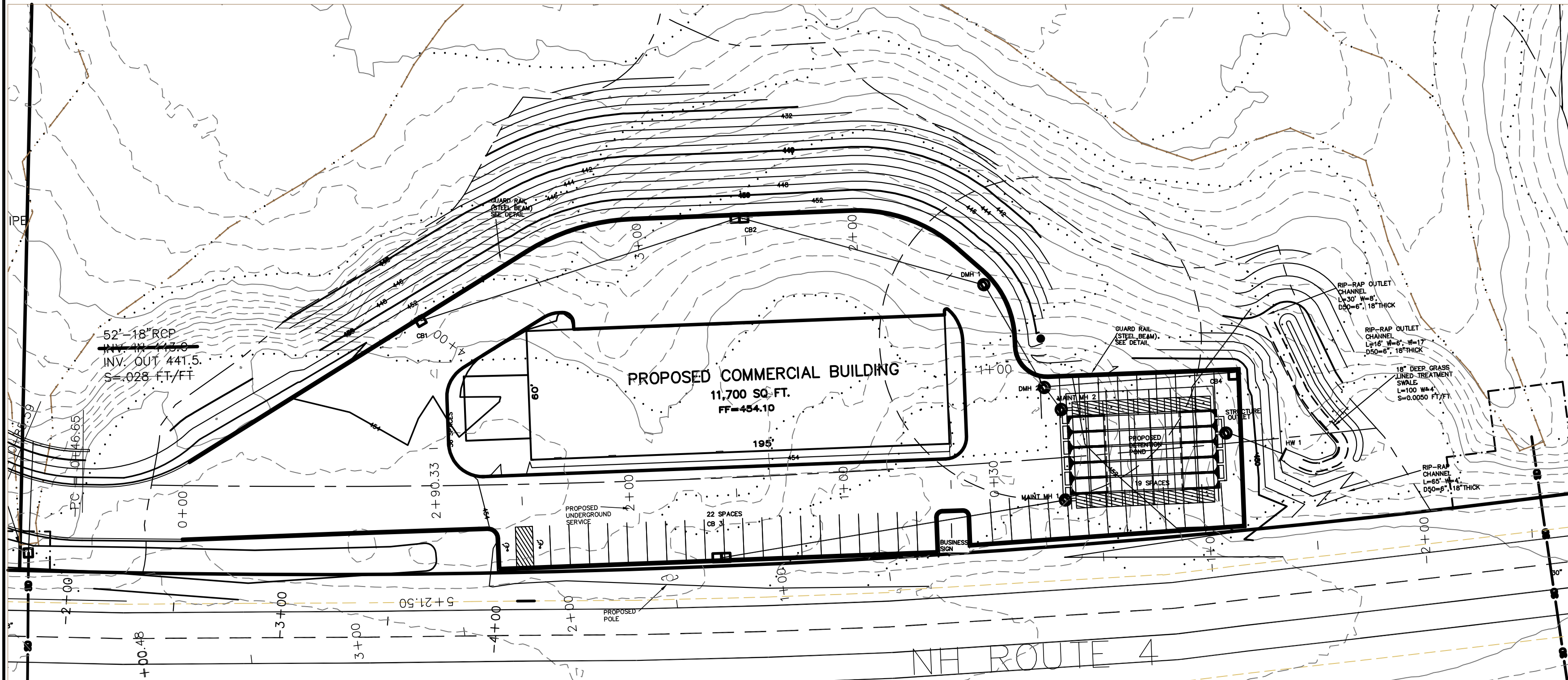
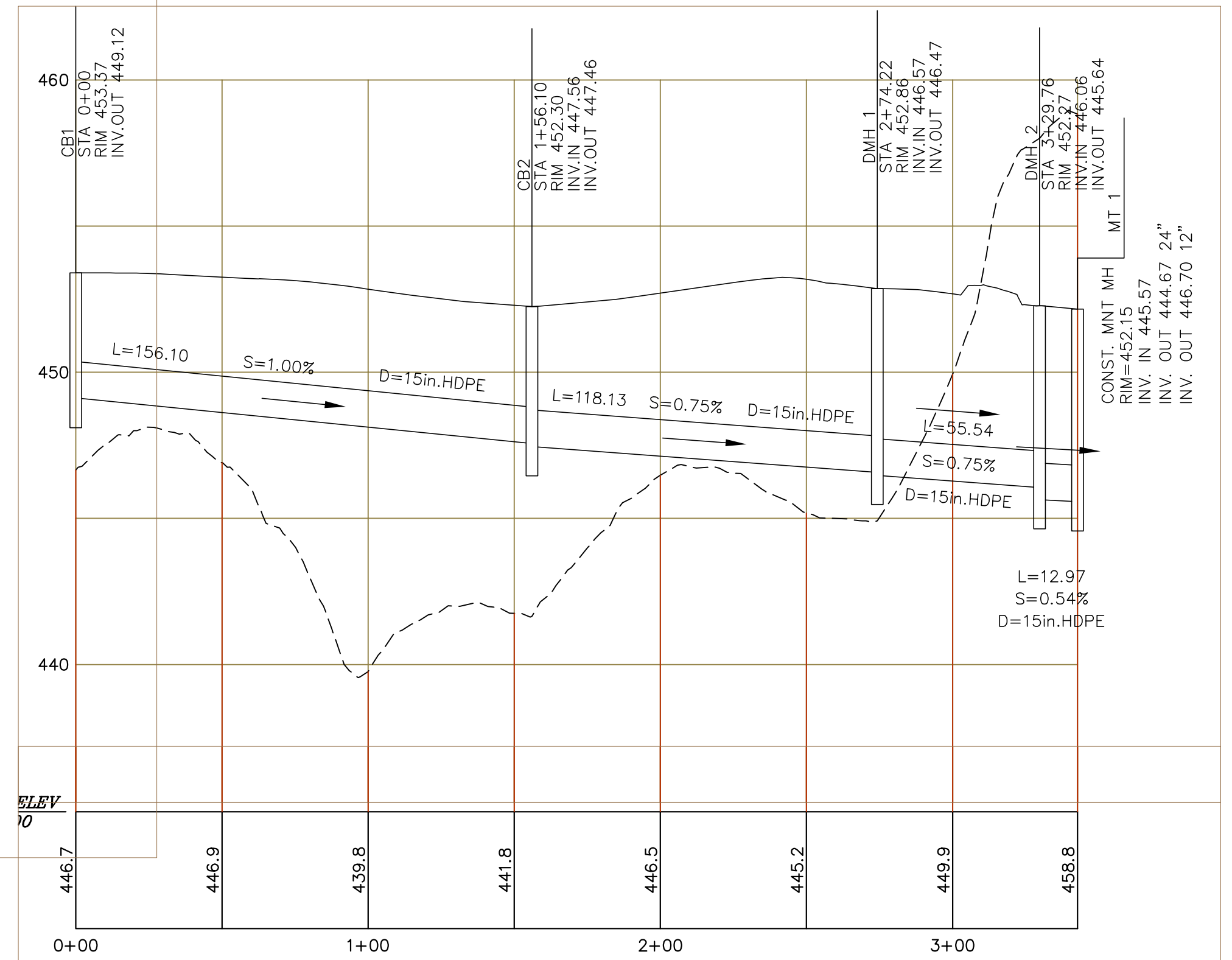
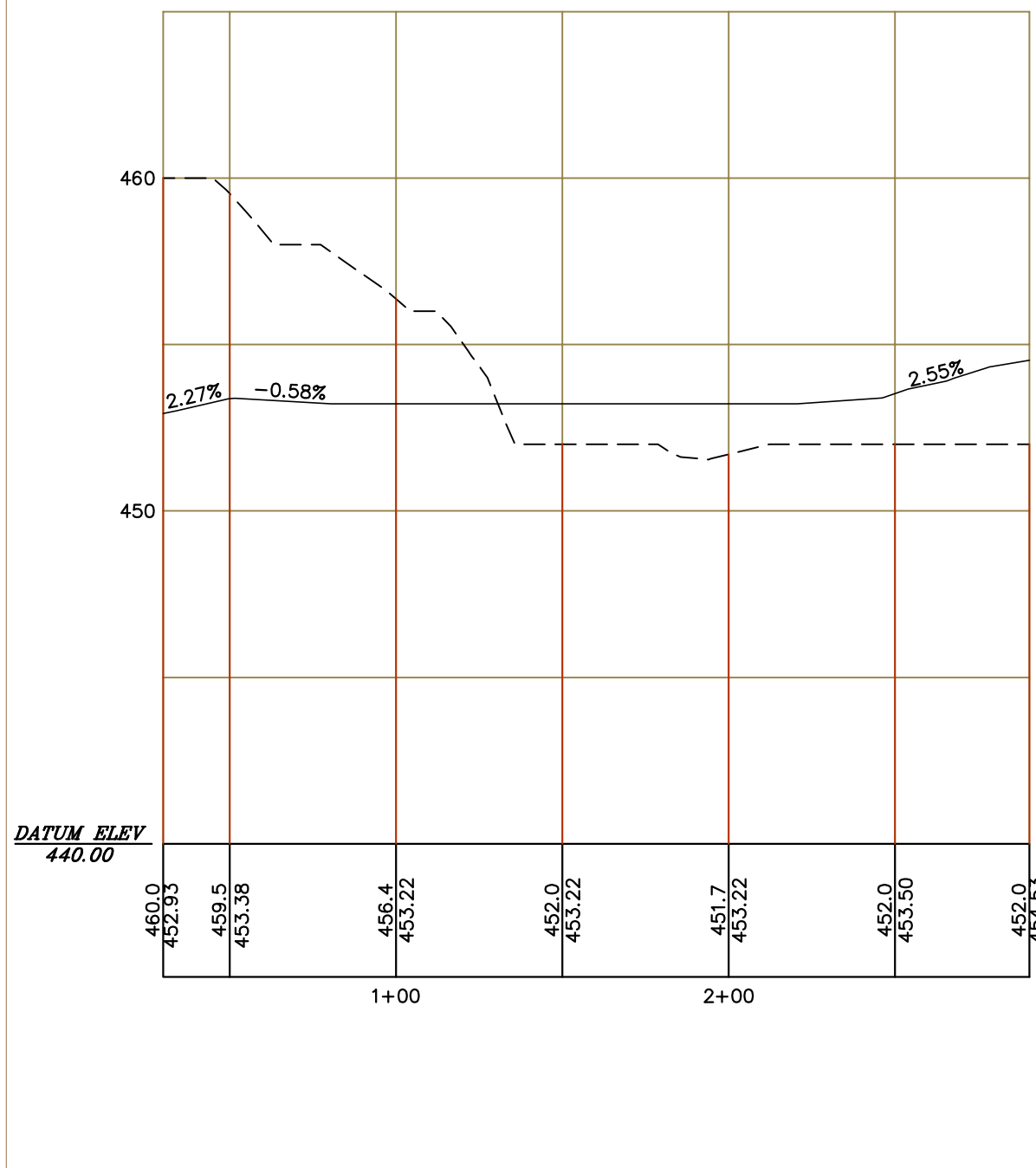
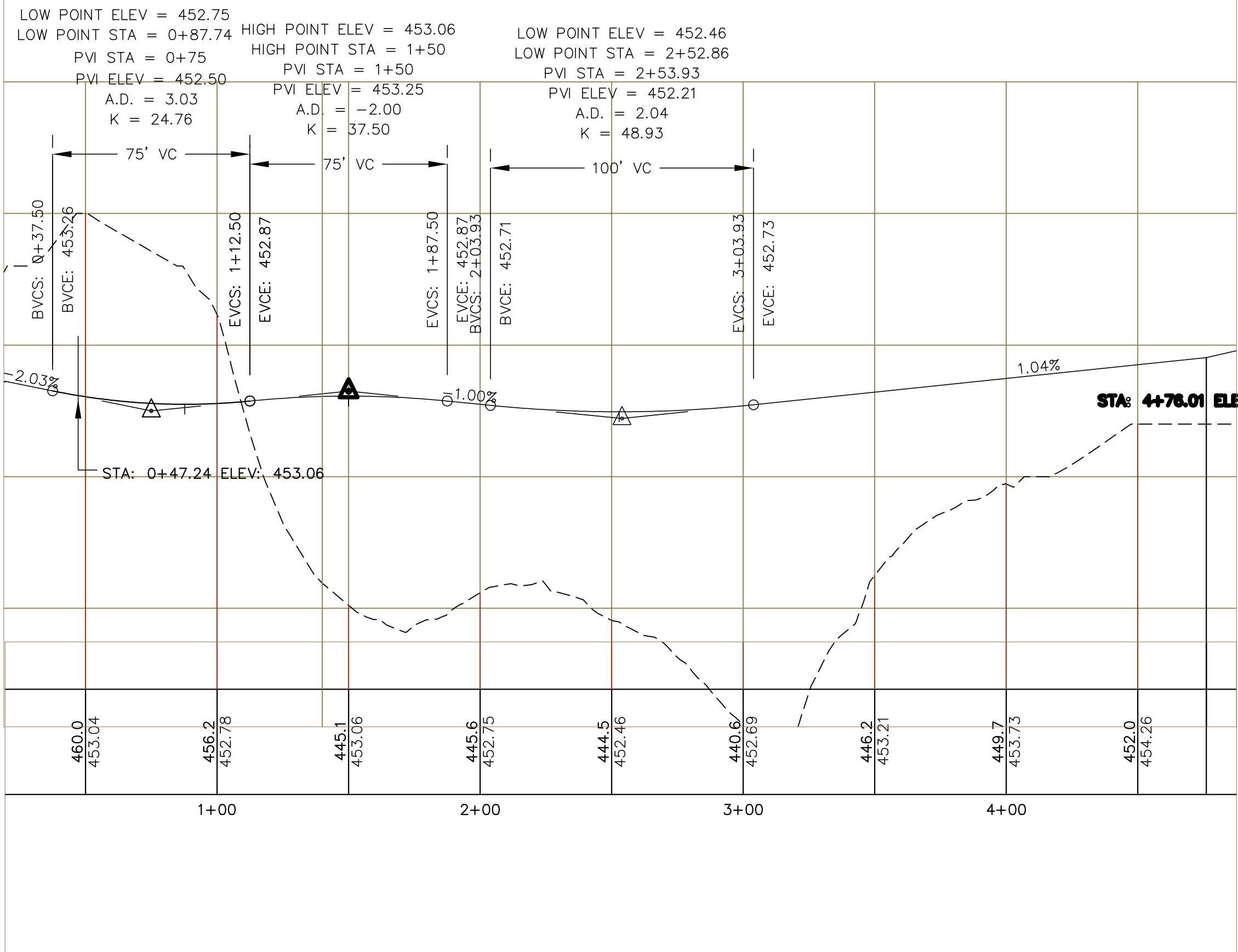
Developer:
 DBU CONSTRUCTION
 PO Box 984
 Epsom, NH 03234

SITE DISTANCE PROFILES
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS			
DATE	DESCRIPTION	DWN BY	CK BY
4-4-19	EDITS PER PLANNING BOARD	JR	JR
5-20-19	EDITS PER AOT COMMENTS	JR	JR
6-17-19	EDITS TO DRIVES PER NHDOT COMMENTS	JR	JR
9-10-19	EDITS TO DRIVES PER NHDOT COMMENTS	JR	JR

Rokeh Consulting, LLC
 89 KING ROAD, CHICHESTER, NH
 PH: 603-387-8688

SCALE: 1" = 40"
 DATE: JANUARY 14, 2019
 DR. BY: JR CK. BY: JR
 JOB NO. _____
 SHEET NO. 14 OF 23



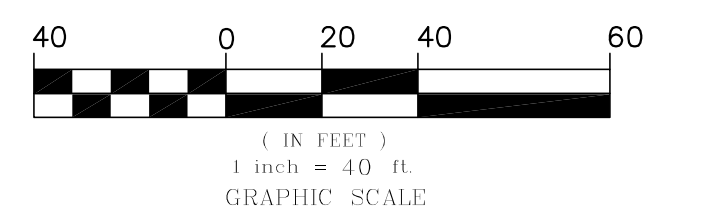
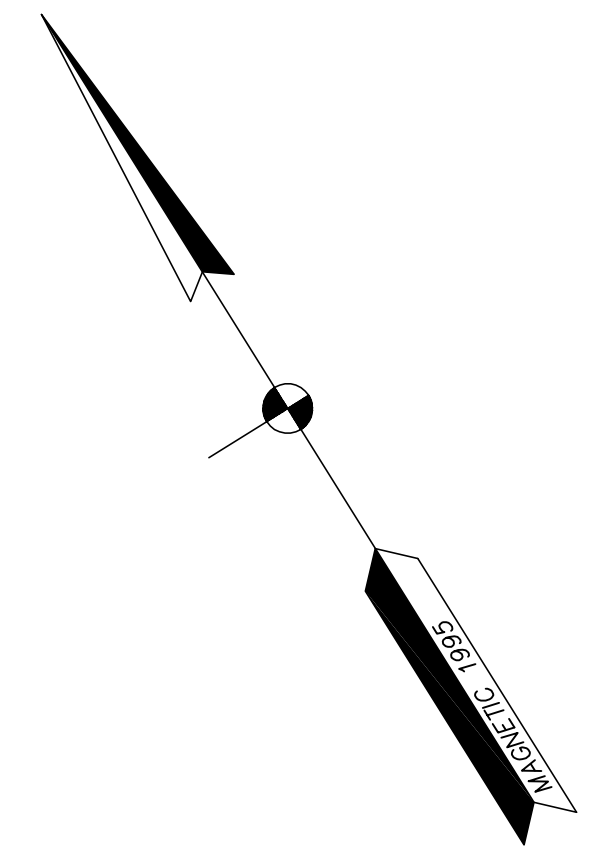
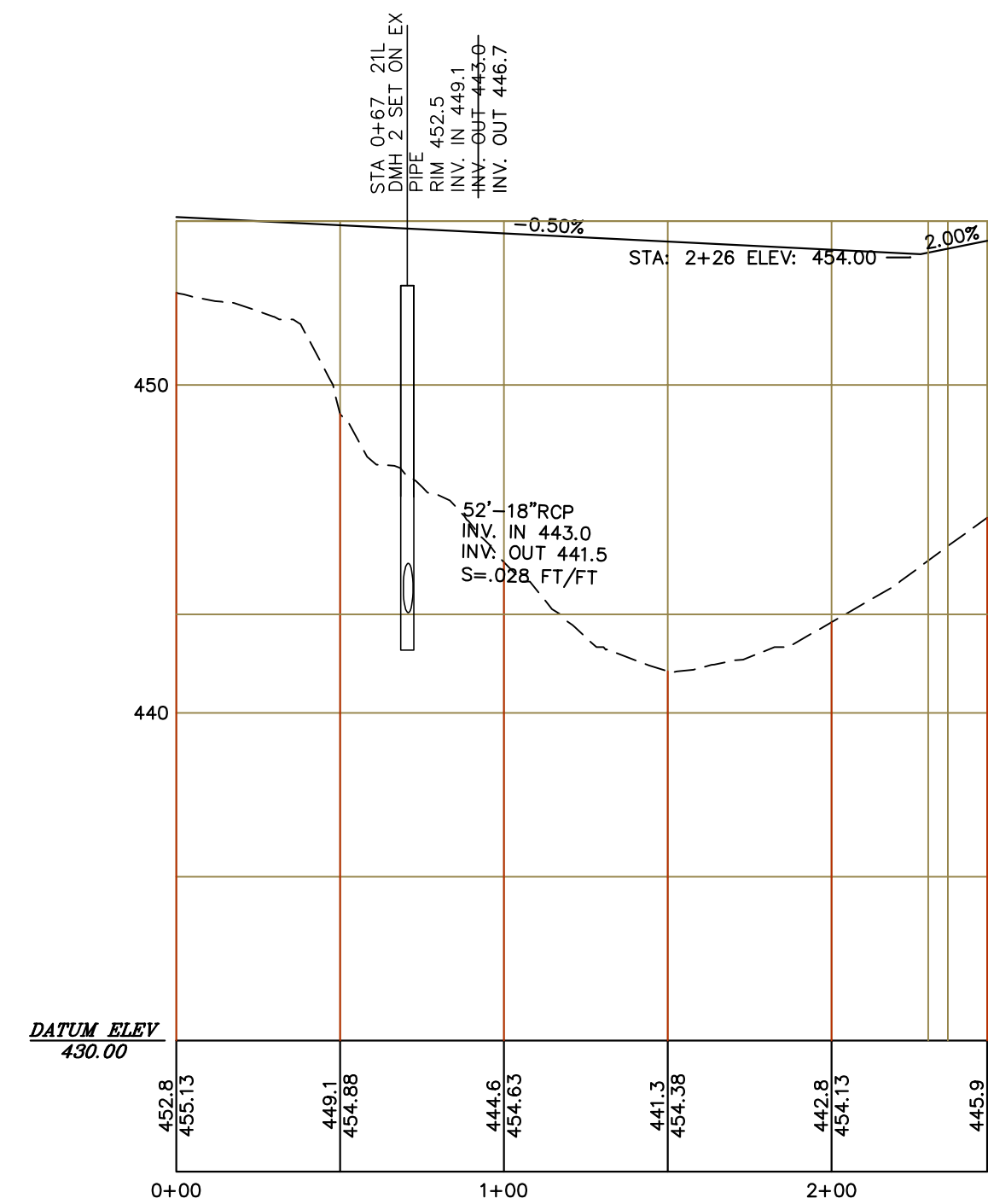
Developer:
 DBU CONSTRUCTION
 PO Box 984
 Epsom, NH 03234

ROADWAY PROFILES
 COMMERCIAL SITE PLAN
 TAX PARCEL 4 LOT 151
 DOVER ROAD
 CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

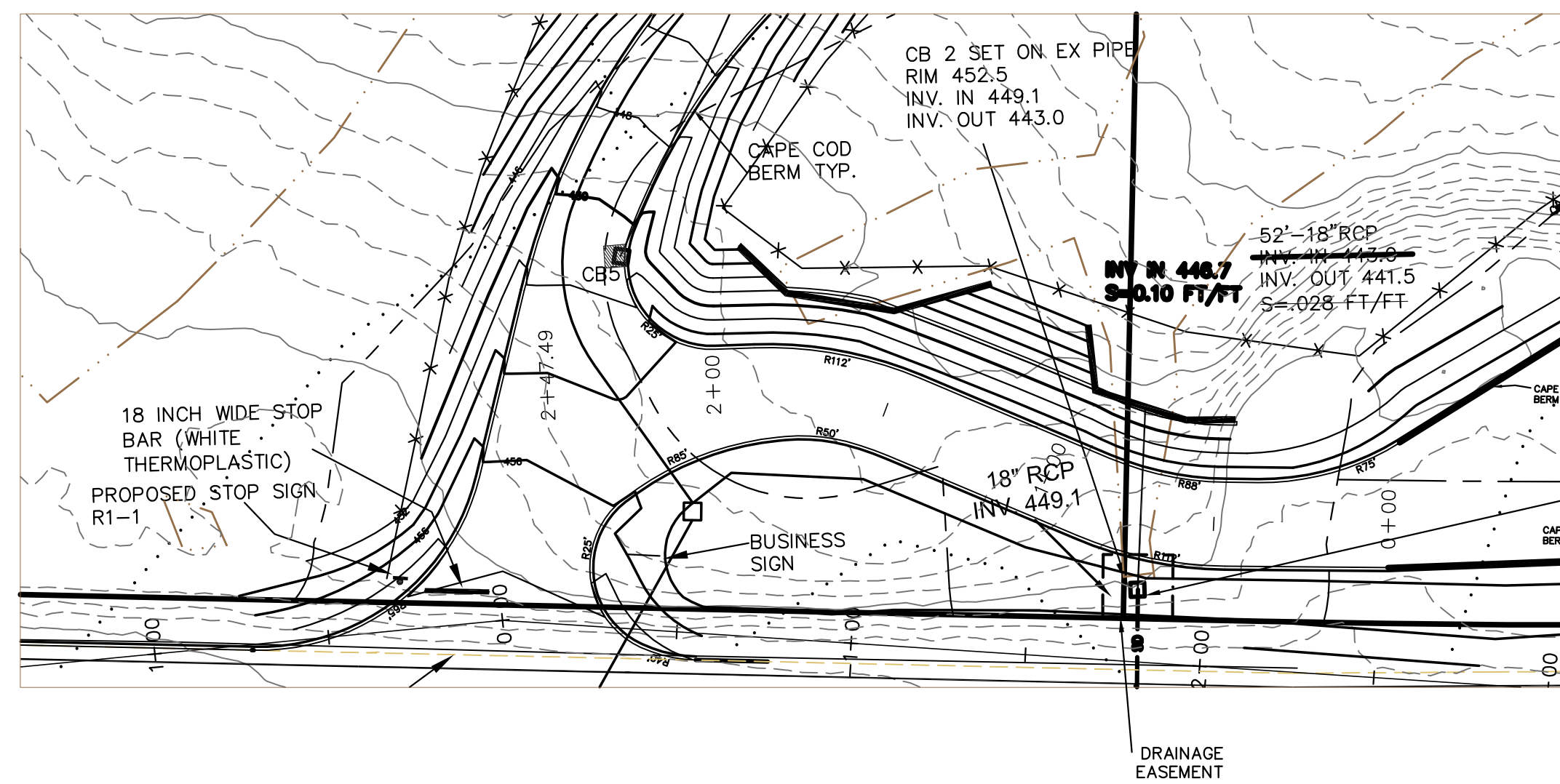
REVISIONS			
DATE	DESCRIPTION	DWN BY	CK BY

Rokeh Consulting, LLC
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 PH: 603-387-8688

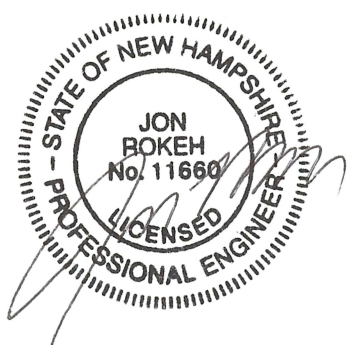
SCALE: 1" = 40"
 DATE: JANUARY 14, 2019
 DR. BY: JR CK. BY: JR
 JOB NO. _____
 SHEET NO. 15 OF 23



CONNECTOR ROAD



CB 2 IS TO BE INSTALLED AT THE LOCATION OF THE EXISTING OUTLET (HEADER TO BE REMOVED), AND ALL ADDITIONAL LENGTHS OF 18" RCP WILL BE OWNED AND MAINTAINED BY THE DRIVEWAY PERMITTEE. THE ANNULAR SPACE SHOULD BE SEALED/GROUTED.



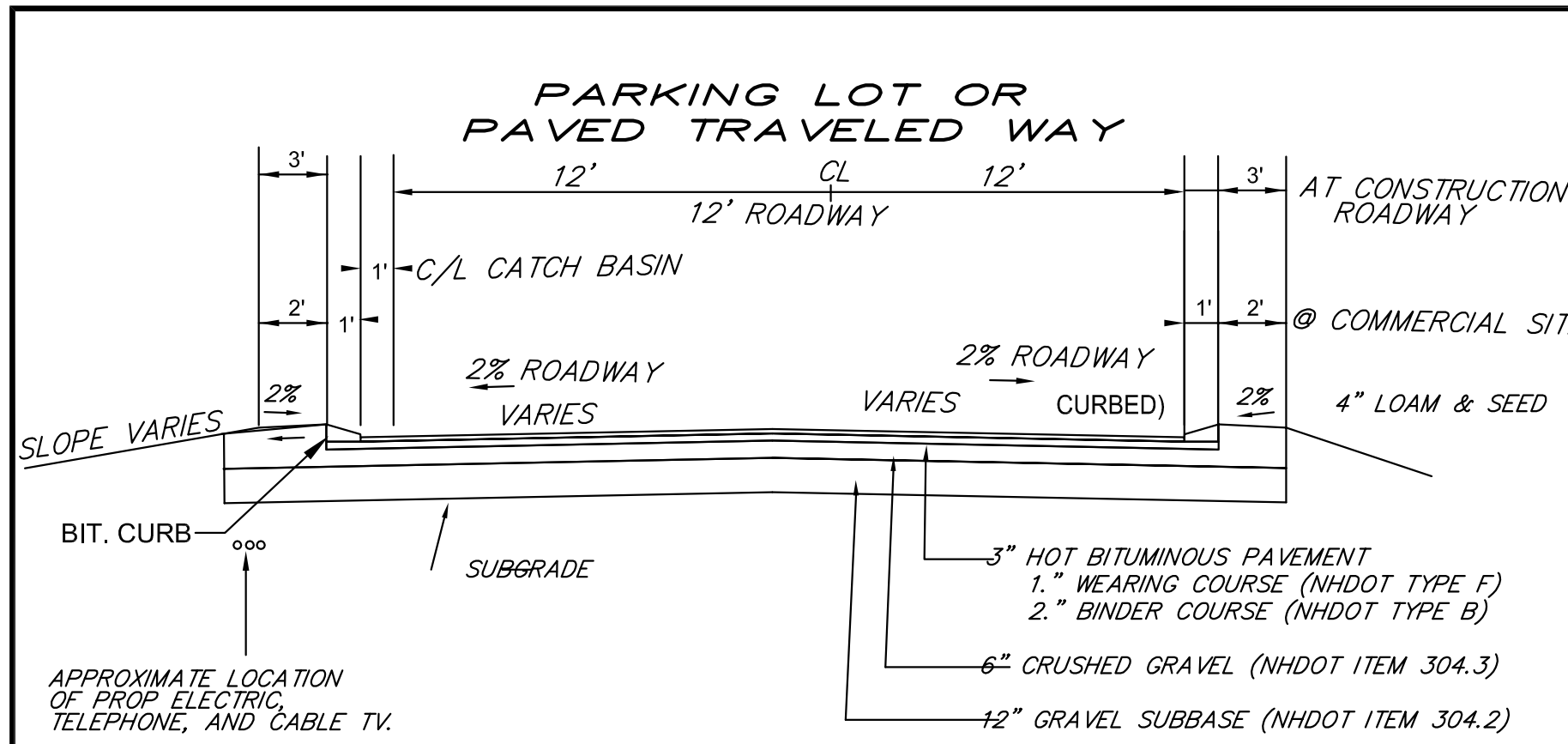
Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

CONNECTION ROAD PROFILES
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS			
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5-20-19	EDITS PER AOT COMMENTS	JR	JR
6-17-19	EDITS TO DRIVES PER NHDOT COMMENTS	JR	JR
8-19-19	EDITS TO DRIVES PER NHDOT COMMENTS	JR	JR

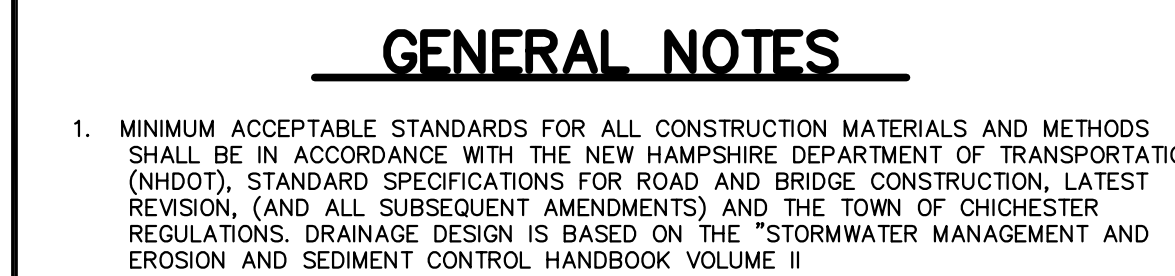
Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 40"
DATE: JANUARY 14, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 16 OF 23

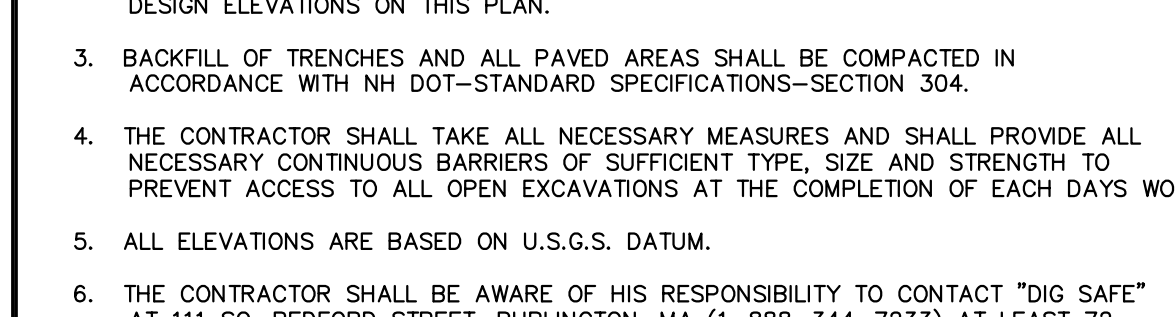


- GENERAL NOTES**
1. ALL ROADWAY CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE LATEST N.H.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2010 INCLUDING SUBSEQUENT AMENDMENTS AND EDITIONS.
 2. PROVIDE 4" (MIN.) COMPACTED LOAM AND SEED ON ALL SIDE SLOPES AND DRAINAGE SWALES UNLESS OTHERWISE NOTED.
 3. ALL LEDGE AND ROCK SHALL BE REMOVED TO 6" BELOW SUBGRADE.
 4. ROADWAY UNDERDRAIN SHALL BE PROVIDED IN ALL CUT SECTIONS (AT SIDE WITH CUT) AND WHERE SEASONAL HIGH WATER IS WITHIN FOUR (4) FEET OF FINISHED GRADE IN ALL OTHER AREAS. UNDERDRAIN SHALL HAVE A MINIMUM OF FOUR (4) FEET OF COVER.

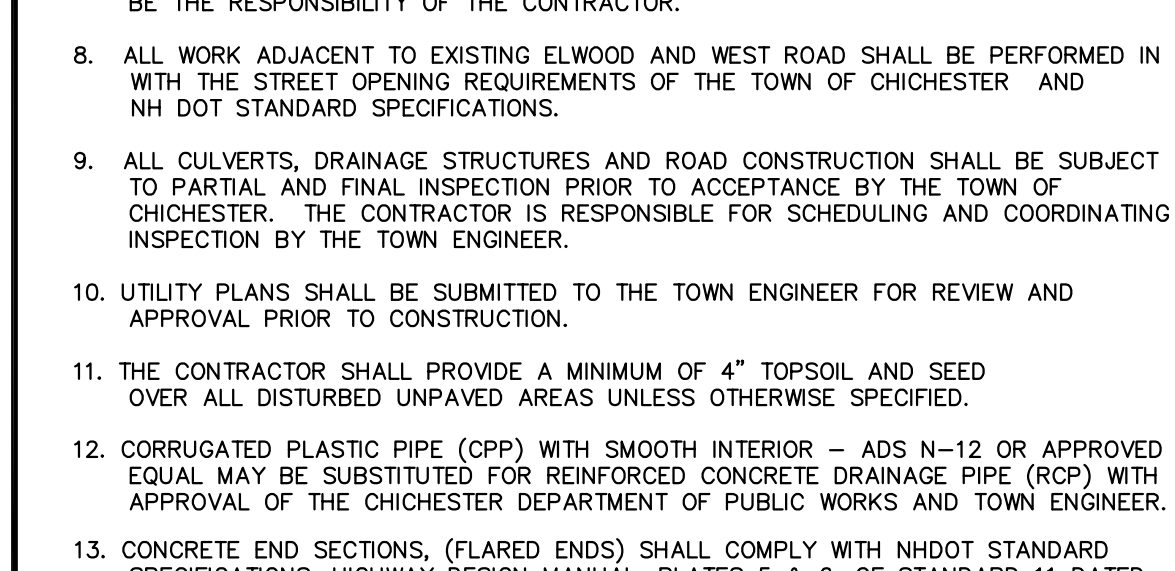
TYPICAL CAPE COD BERM
(NOT TO SCALE)



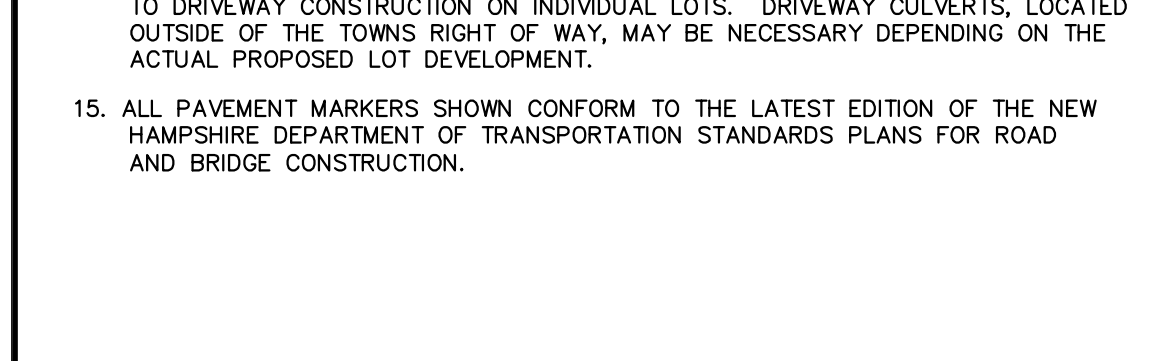
GRAVEL CONSTRUCTION YARD SECTION
(NOT TO SCALE)



CONCRETE CURB AT SIDEWALK
(NOT TO SCALE)



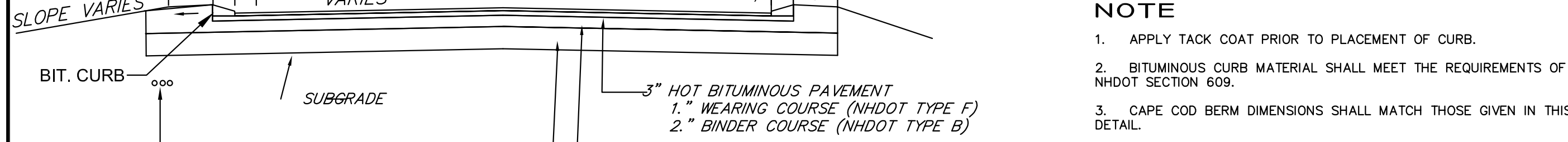
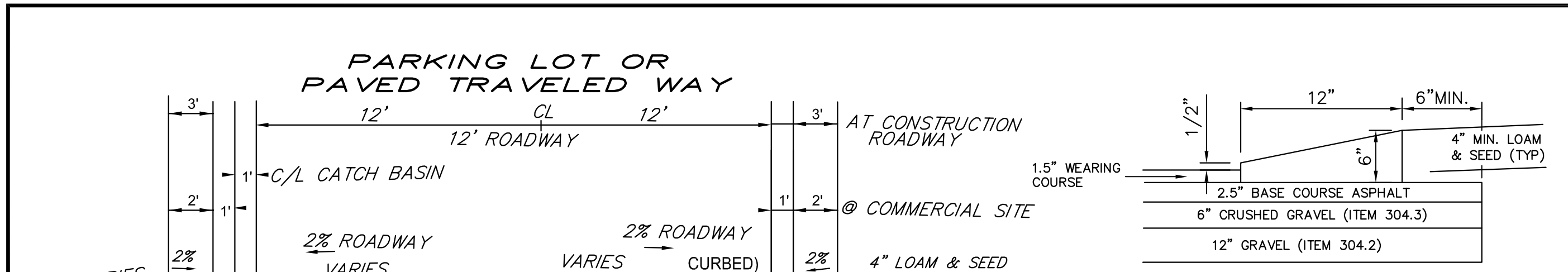
PLAN VIEW FOR WOOD POST & OFFSET BLOCK



GENERAL NOTES:

1. POSTS AND OFFSET BLOCKS TO BE PRESSURE TREATED WOOD.
2. ANCHORS, PLATES AND ALL FITTINGS TO BE GALVANIZED.
3. ALL DIMENSIONS SUBJECT TO MANUFACTURERS TOLERANCES.
4. RAIL PANELS AND END SECTIONS TO BE 12 GAUGE GALVANIZED STEEL.
5. ALL PARTS SHALL CONFORM TO STANDARD 6-A OF THE STATE OF N.H. D.P.W.H. DESIGN MANUAL.
6. WHEN GUARDRAIL IS CONSTRUCTED AT UP TO FOUR FEET FROM EDGE OF PAVEMENT, THE GUARD RAIL HEIGHT WILL BE SET FROM THE GRADE AT THE EDGE OF PAVEMENT. WHEN THE GUARDRAIL IS CONSTRUCTED MORE THAN FOUR FEET FROM THE EDGE OF PAVEMENT, THE GUARDRAIL WILL BE SET FROM THE GRADE AT FACE OF RAIL.

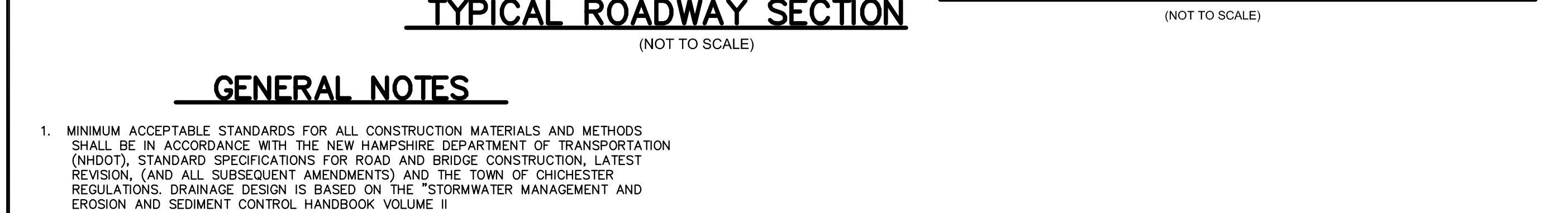
"W" BEAM METAL GUARDRAIL
(NOT TO SCALE)



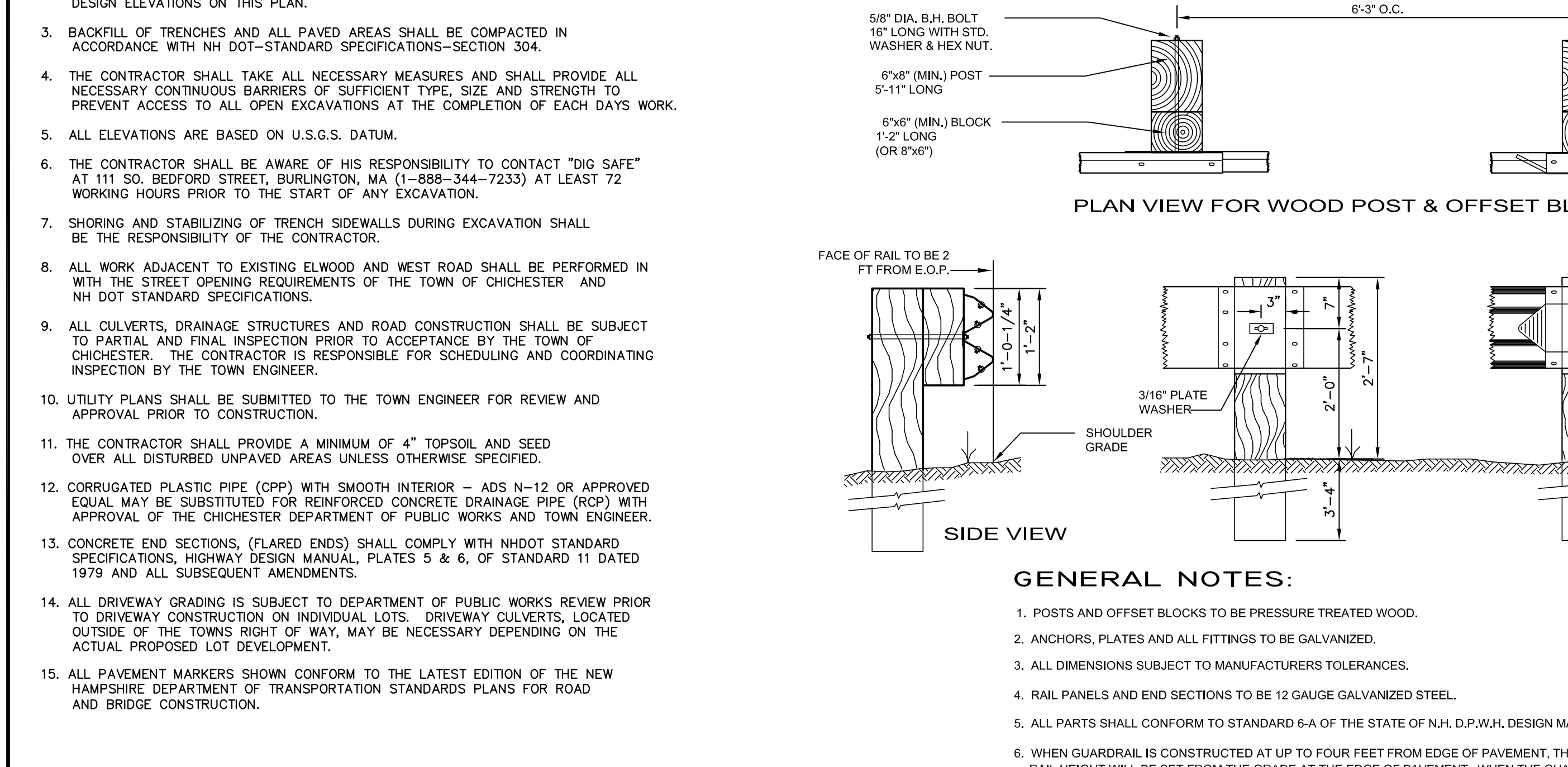
UTILITIES TRENCH
(NOT TO SCALE)



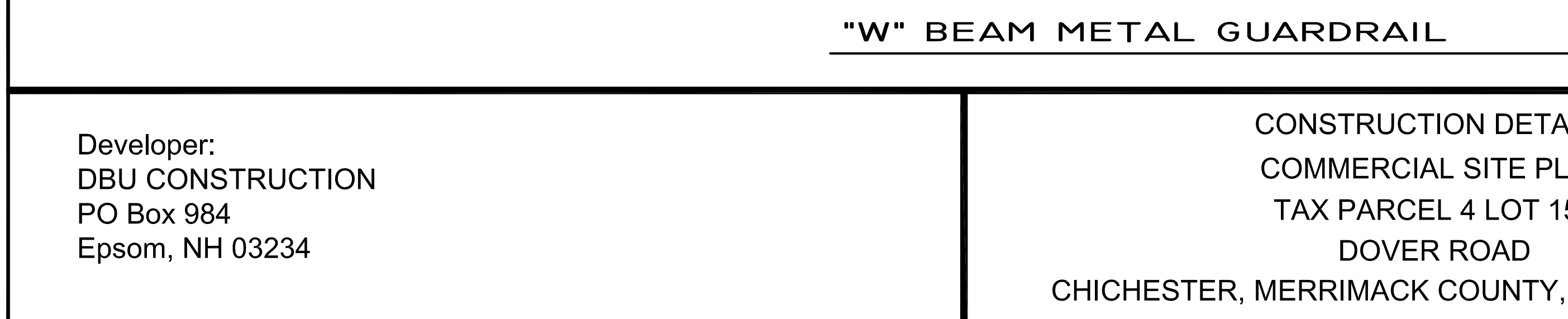
STANDARD PARKING LOT OR ROADWAY SECTION
(SEE CAPE COD BERM DETAIL)



HANDICAP PARKING STRIPING AND SIGN DETAIL
(NOT TO SCALE)



STOP SIGN R1-1
(NOT TO SCALE)



DATE	DESCRIPTION	DWN BY	CK BY

REVISIONS

CONSTRUCTION DETAILS
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

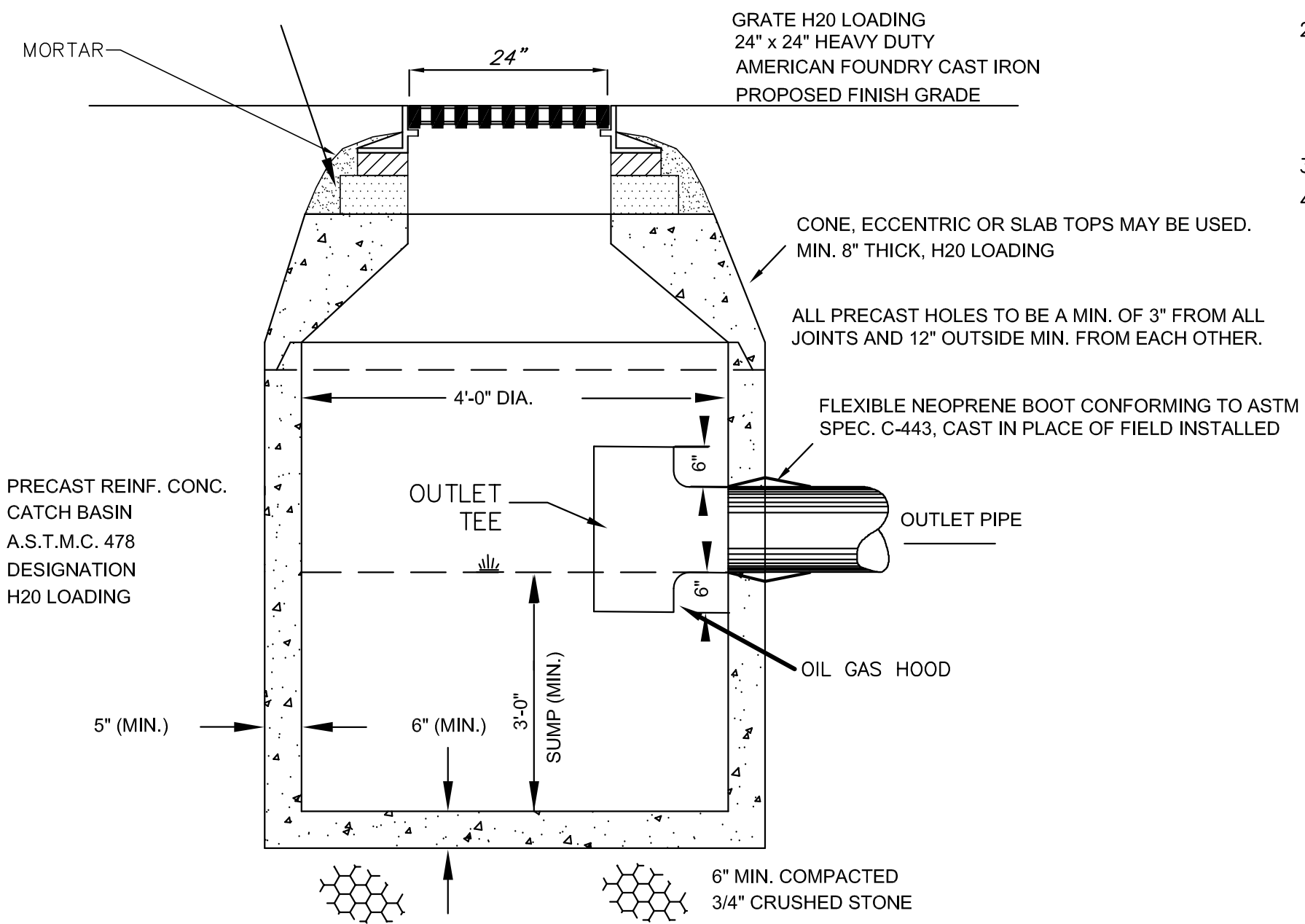
Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 50"
DATE: JANUARY 14, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 17 OF 23

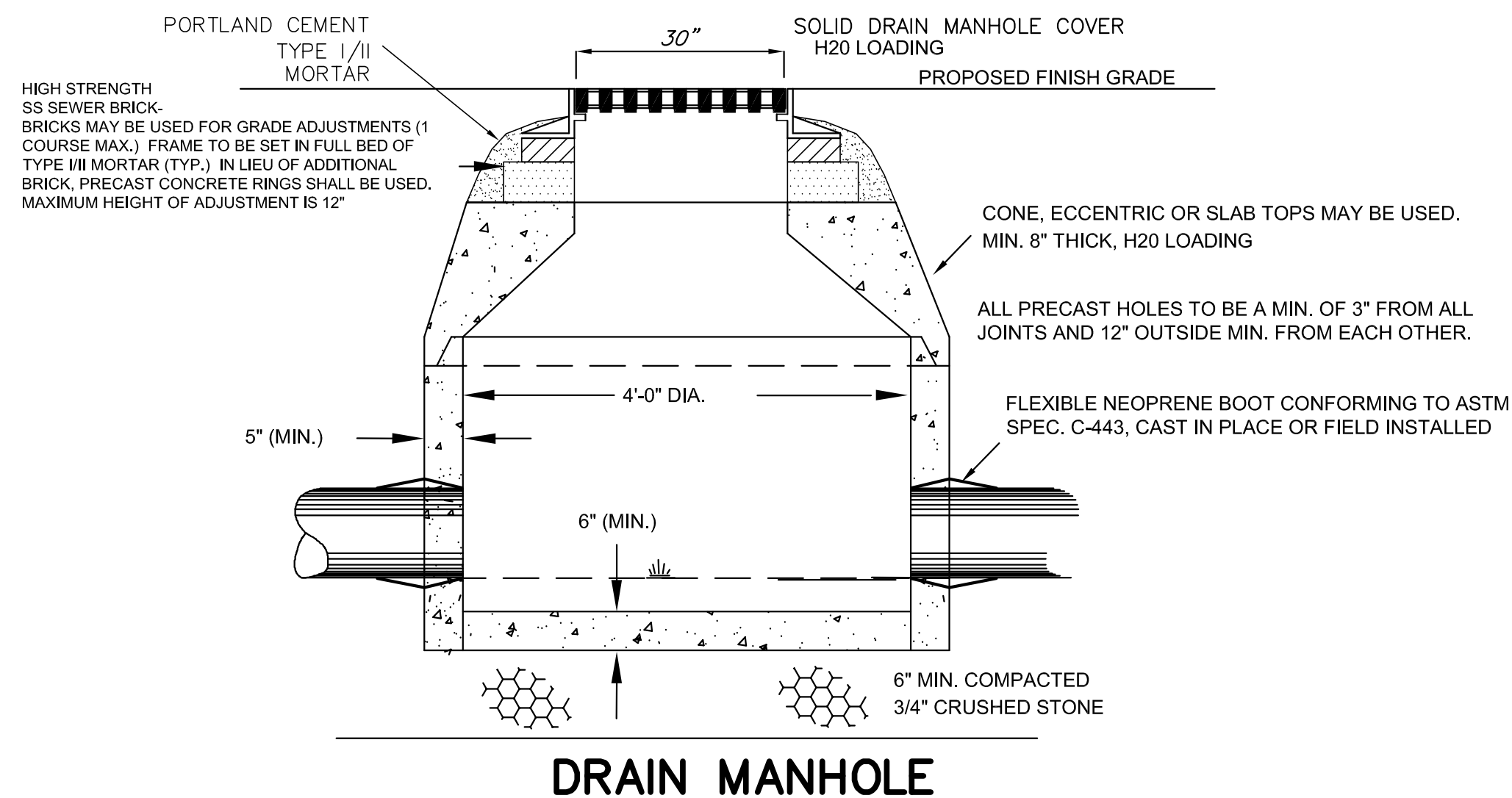
JON BOKEH
No. 11888
LICENSED PROFESSIONAL ENGINEER

SS SEWER BRICK-
BRICKS MAY BE USED FOR GRADE ADJUSTMENTS (1
COURSE MAX.) FRAME TO BE SET IN FULL BED OF
TYPE III MORTAR (TYP.) IN LIEU OF ADDITIONAL
BRICK. PRECAST CONCRETE RINGS SHALL BE USED.
MAXIMUM HEIGHT OF ADJUSTMENT IS 12"

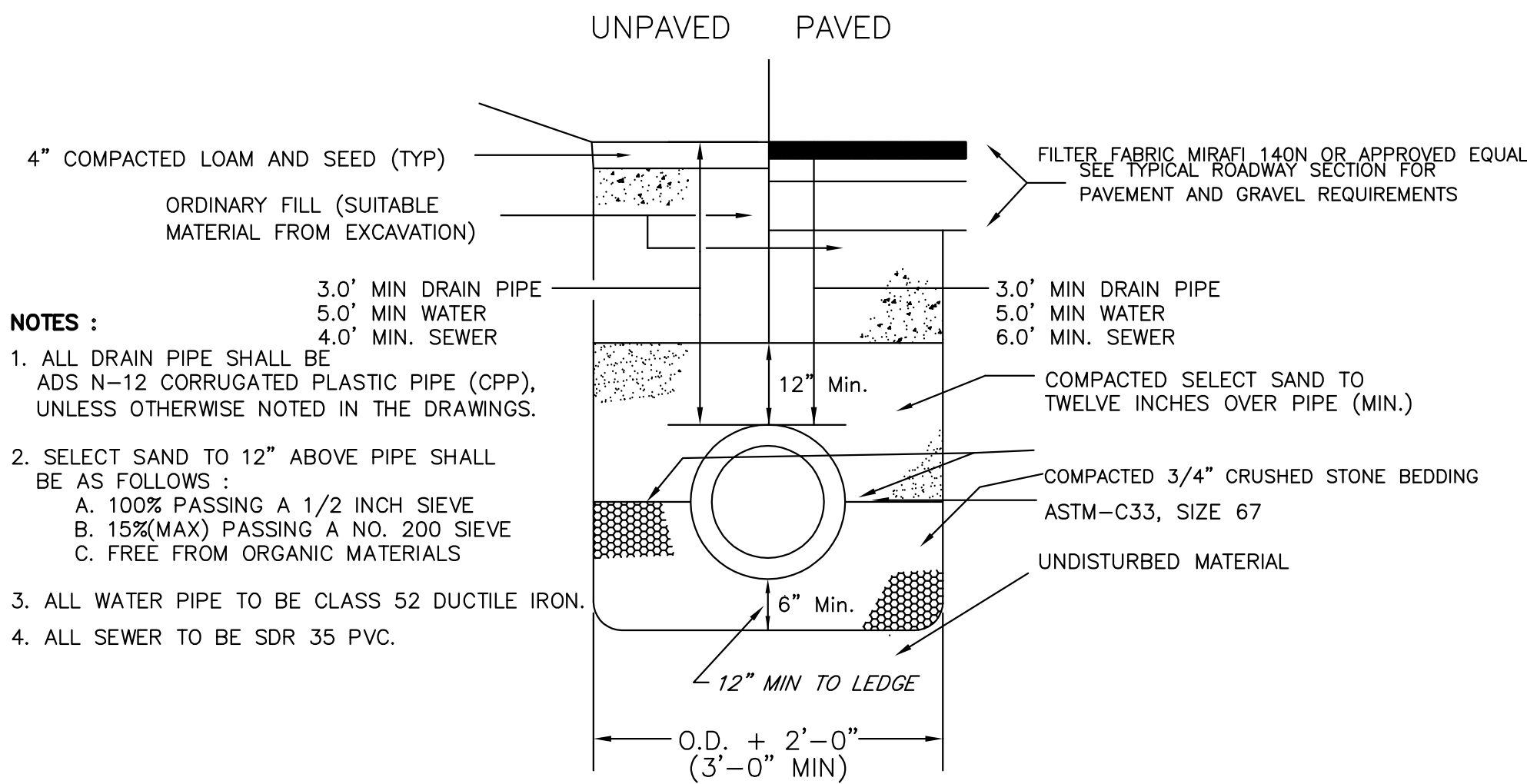


TYPICAL PRECAST OUTLET STRUCTURE & CATCH BASIN DETAIL

NOT TO SCALE



DRAIN MANHOLE

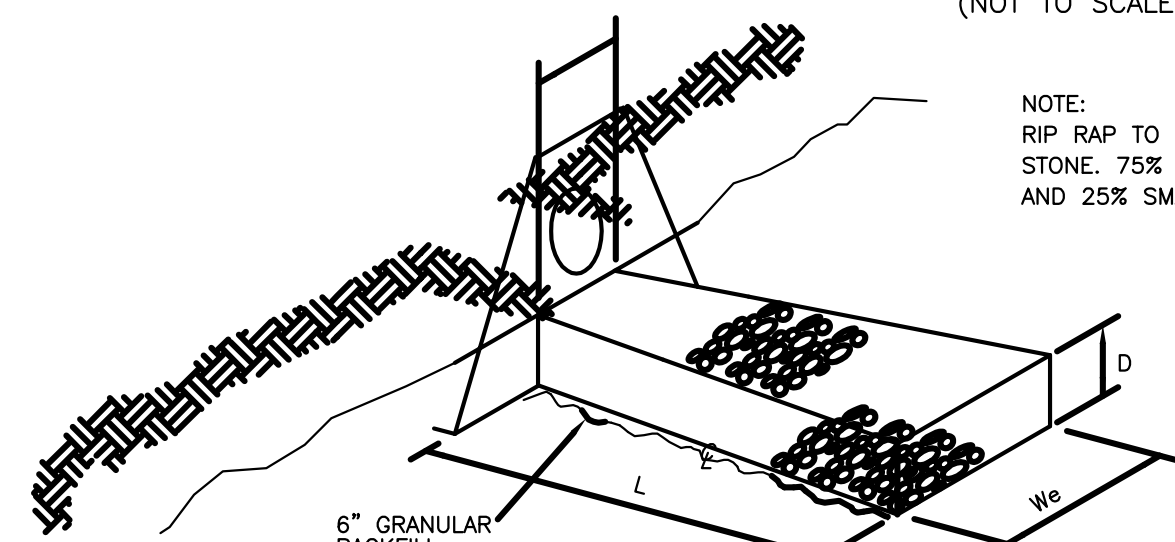


TYPICAL SEWER/ DRAIN PIPE TRENCH

(NOT TO SCALE)

NOTES :

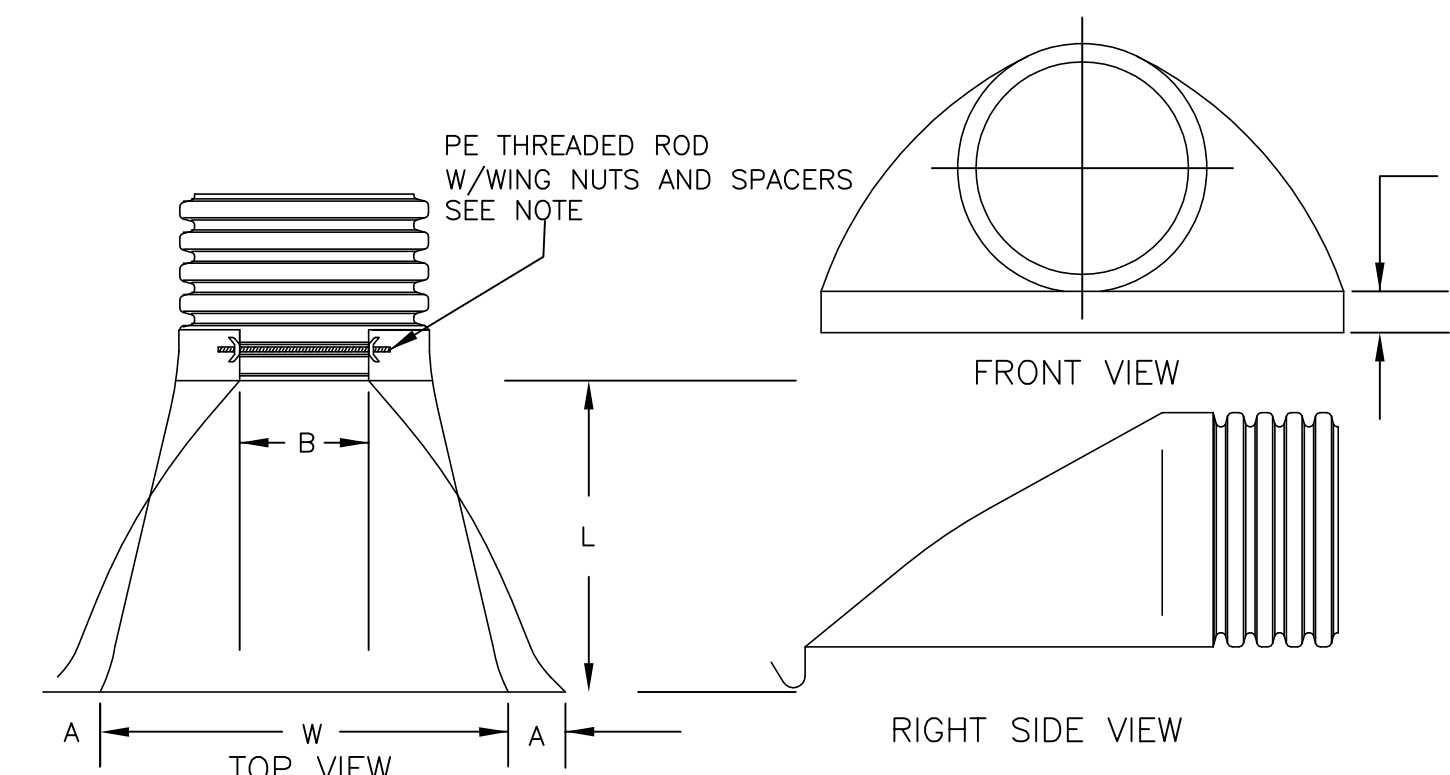
- ALL DRAIN PIPE SHALL BE ADS N-12 CORRUGATED PLASTIC PIPE (CPP), UNLESS OTHERWISE NOTED IN THE DRAWINGS.
- SELECT SAND TO 12" ABOVE PIPE SHALL BE AS FOLLOWS :
A. 100% PASSING A 1/2 INCH SIEVE
B. 15%(MAX) PASSING A NO. 200 SIEVE
C. FREE FROM ORGANIC MATERIALS
- ALL WATER PIPE TO BE CLASS 52 DUCTILE IRON.
- ALL SEWER TO BE SDR 35 PVC.



RIP-RAP SPECIFICATIONS

NOT TO SCALE

DESCRIPTION	LENGTH L	INVERT WIDTH Wi	END WIDTH We	STONE D50	DEPTH OF STONE- D
HW1	12'	4.5'	14'	3"	1.5'
FES 8	17'	4.5'	18'	14"	2'
FES 9	18'	6'	20'	17"	2'



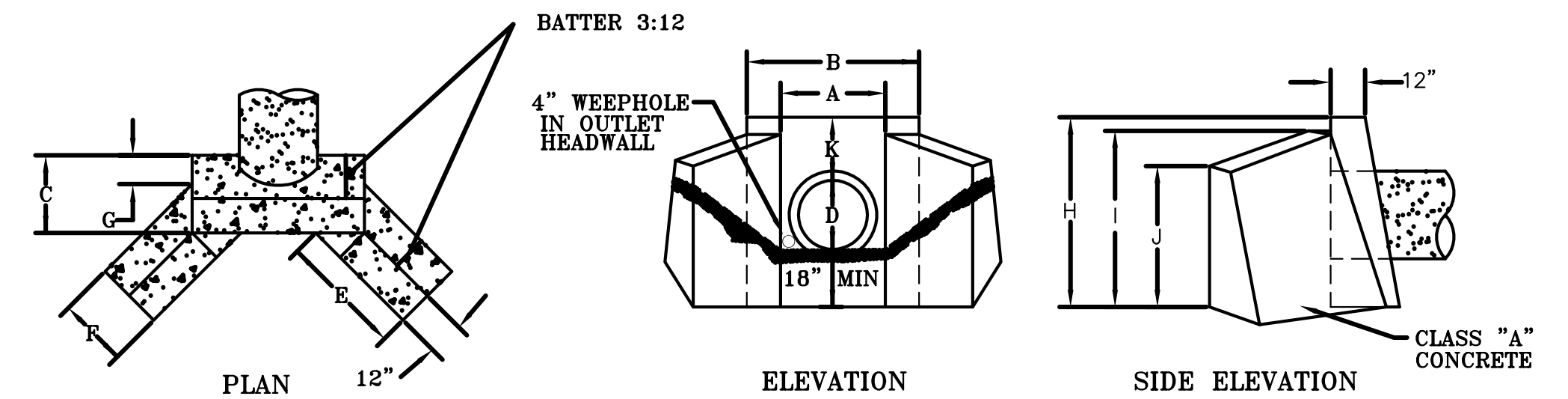
NOTE: PE THREADED ROD W/WING NUTS PROVIDED FOR END SECTIONS 12"-24". 30" & 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.

PART #	PIPE SIZE	A	B (MAX)	H	L
1210NP	12 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN
1510NP	15 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN
1810NP	18 IN	7.50 IN	15.00 IN	6.50 IN	32.00 IN
2410NP	24 IN	7.50 IN	18.00 IN	6.50 IN	36.00 IN
3015NP	30 IN	7.50 IN	12.00 IN	8.60 IN	58.00 IN
3615NP	36 IN	7.50 IN	25.00 IN	8.60 IN	58.00 IN



ADVANCED DRAINAGE SYSTEMS, INC.

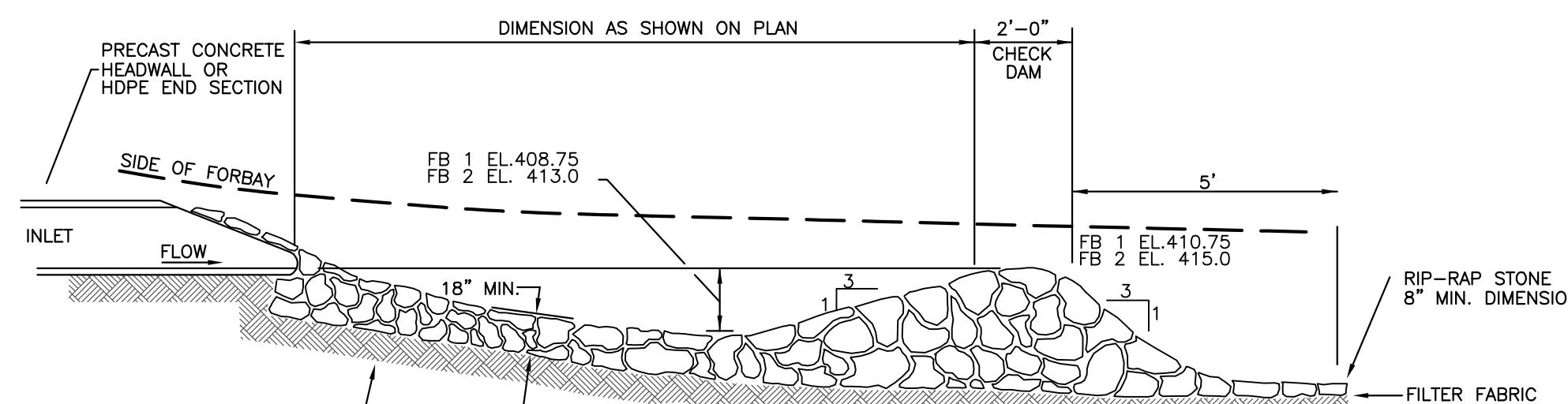
HDPE FLARED END SECTION



	A	B	C	D	E	F	G	H	I	J
12"	1'-6"	4'-0"	2'-0"	3'-0"	1'-9"	8"	4'-0"	3'-8"	2'-8"	1'-3"
15"	1'-9"	4'-4"	2'-1"	3'-2"	1'-10"	7"	4'-2"	3'-10"	3'-0"	1'-6"
18"	2'-0"	4'-10"	2'-2"	3'-4"	1'-11"	6"	4'-6"	4'-0"	3'-4"	1'-6"
24"	2'-6"	5'-4"	2'-3"	3'-6"	2'-0"	5"	5'-0"	4'-6"	3'-10"	1'-6"

HEADWALL DETAIL WITH 45° WINGS

NOT TO SCALE



FORBAY SECTION

NOT TO SCALE

FORBAY	REQUIRED FORBAY	PROPOSED FORBAY VOLUME CF	ROCK DAM	STONE
8	1448	1500CF	2.0	CLASS C
9	964	1000CF	2.0	CLASS C

Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

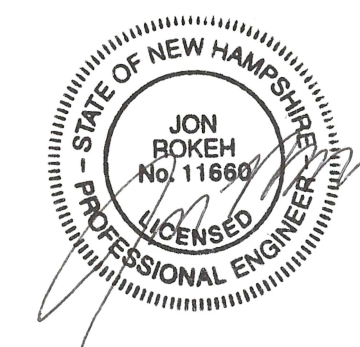
CONSTRUCTION DETAILS
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

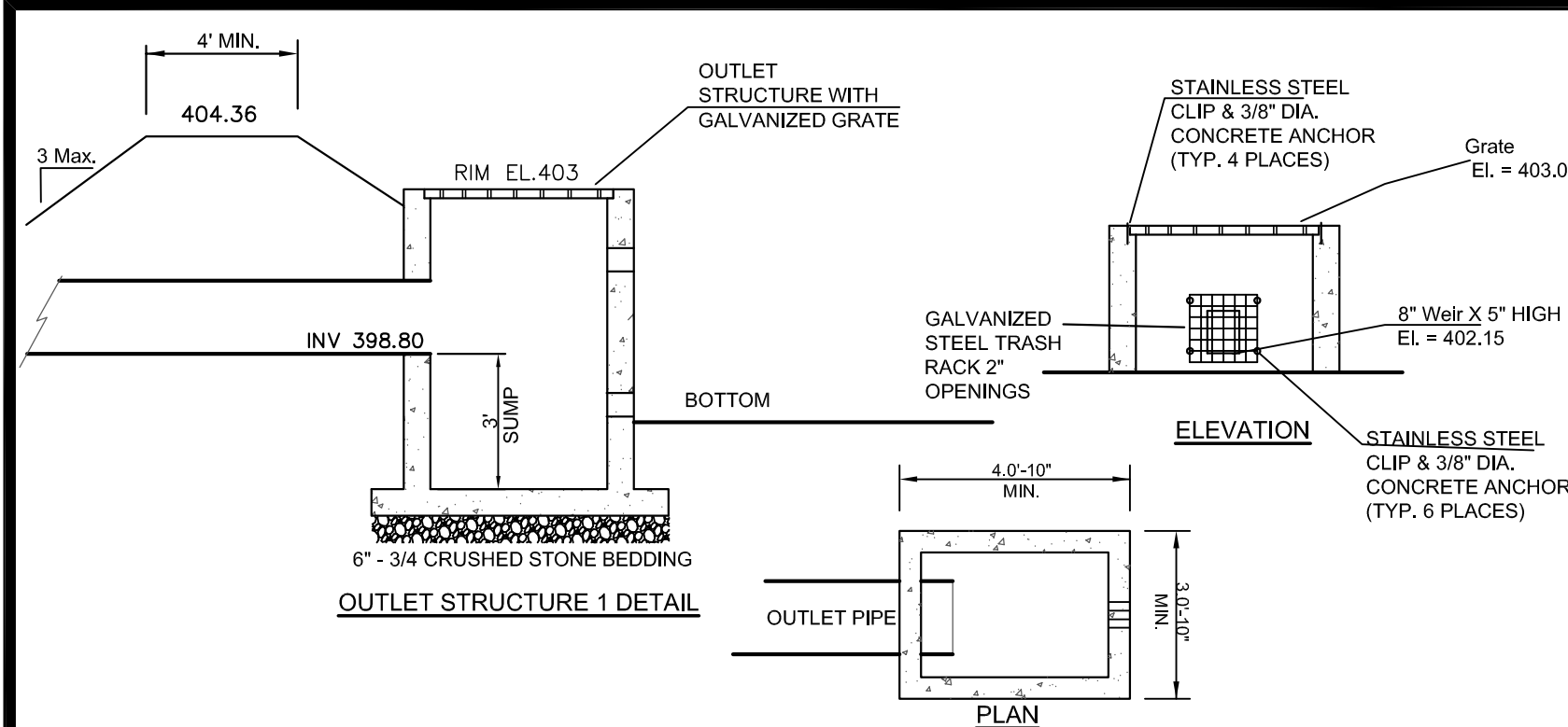
REVISIONS

DATE	DESCRIPTION	GRATE H20 LOADING DWN BY	CK BY

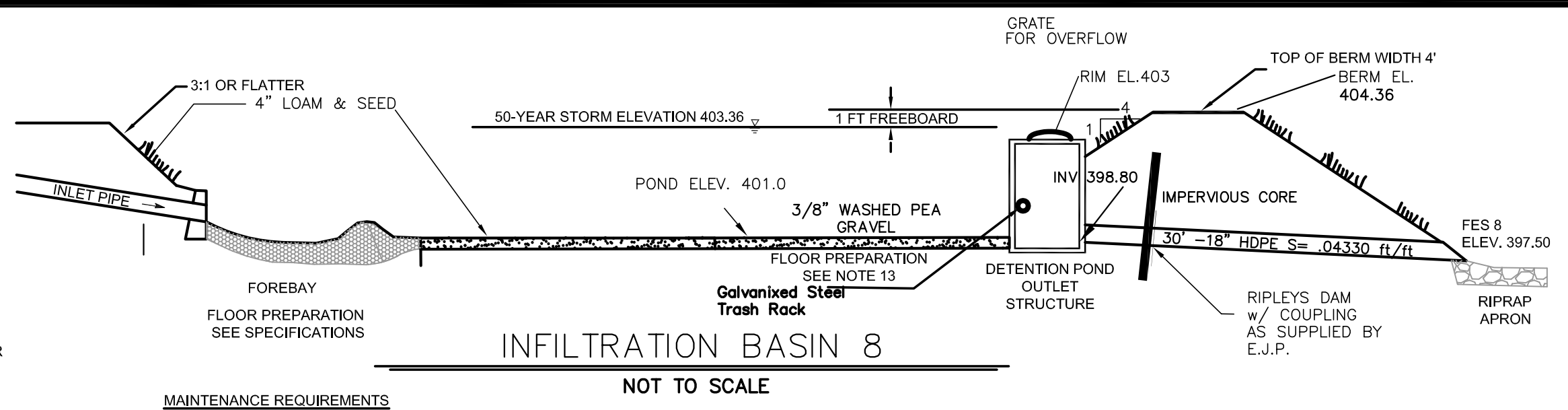
Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 50"
DATE: JANUARY 14, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 18 OF 23

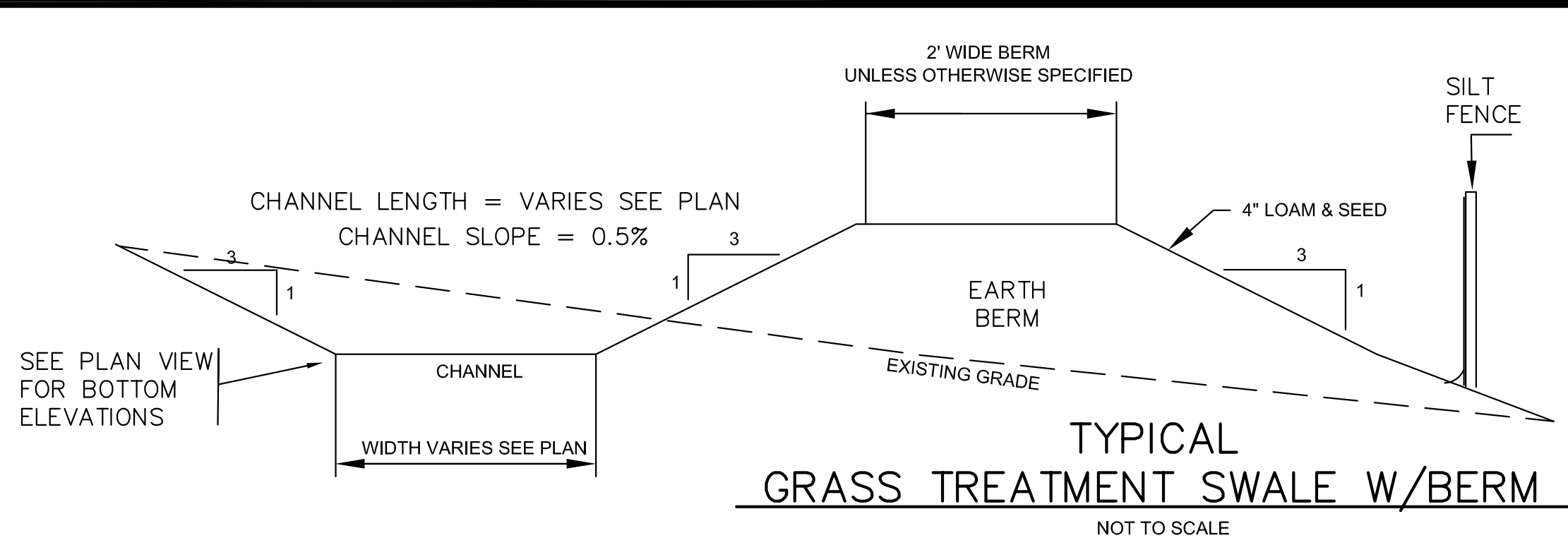




DETENTION POND 9 OUTLET STRUCTURE



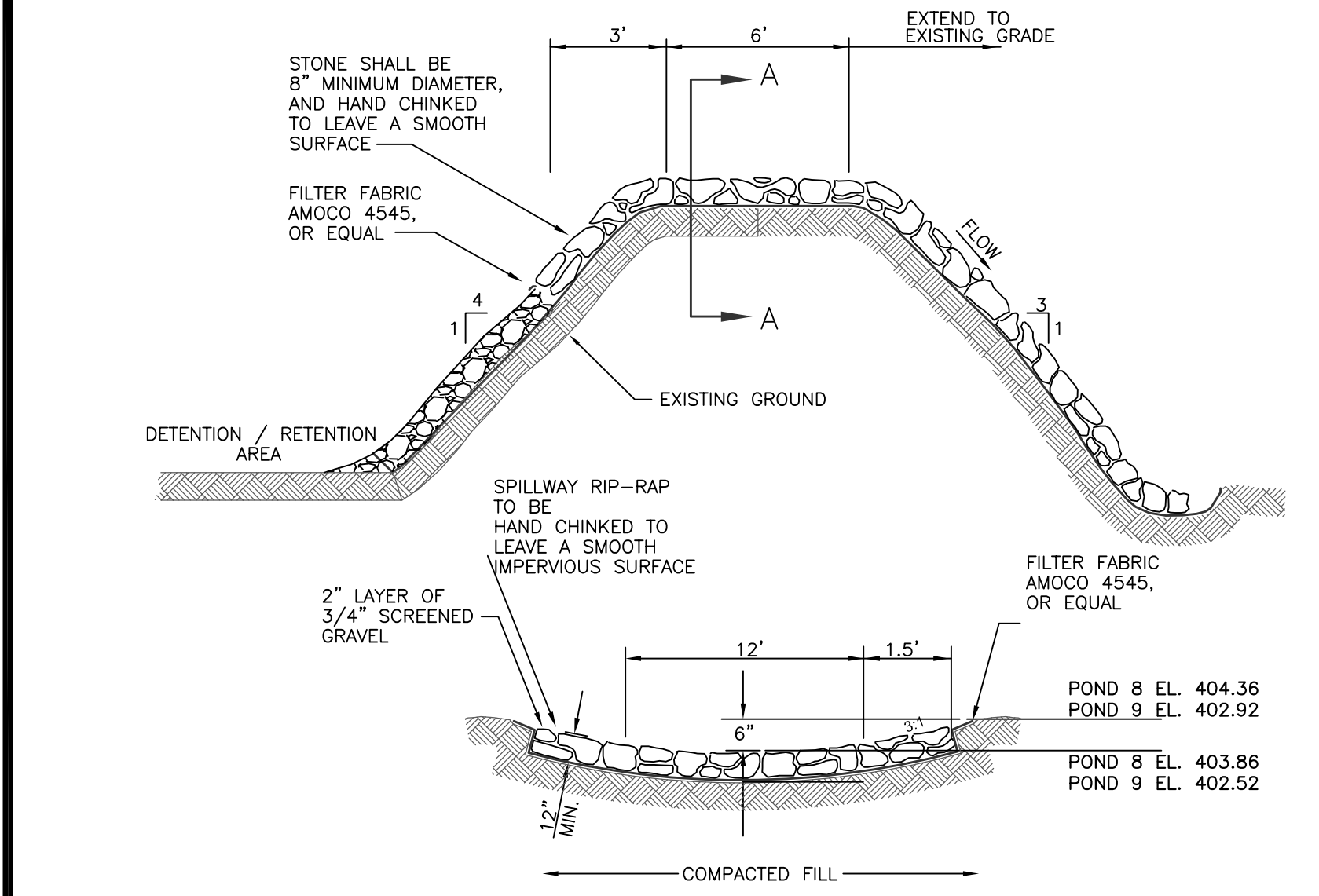
- MAINTENANCE REQUIREMENTS**
1. THE INTERIOR AND EXTERIOR SIDE SLOPES, AND CREST OF EARTHEN INFILTRATION BASINS SHALL BE MOWED, AND THE VEGETATION MAINTAINED IN HEALTHY CONDITION, AS APPROPRIATE TO THE FUNCTION OF THE FACILITY AND TYPE OF VEGETATION.
 2. VEGETATED EMBANKMENTS THAT SERVE AS "BERMS" THAT IMPOUND WATER SHALL BE CLEARED OF WOODY VEGETATION ONCE PER YEAR.
 3. EMBANKMENTS SHALL BE INSPECTED AT LEAST ANNUALLY BY A QUALIFIED PROFESSIONAL FOR SETTLEMENT, EROSION, SEEPAGE, ANIMAL BURROWS, WOODY VEGETATION, AND OTHER CONDITIONS THAT COULD DEGRADE THE EMBANKMENT AND REDUCE ITS STABILITY FOR IMPOUNDING WATER. IMMEDIATE CORRECTIVE ACTION SHALL BE IMPLEMENTED IF ANY SUCH CONDITIONS ARE FOUND.
 4. INLET AND OUTLET PIPES, INLET AND OUTLET STRUCTURES, ENERGY DISSIPATION STRUCTURES OR PRACTICES, AND OTHER STRUCTURAL APPURTENANCES SHALL BE INSPECTED AT LEAST ANNUALLY BY A QUALIFIED PROFESSIONAL, AND CORRECTIVE ACTION IMPLEMENTED (E.G., MAINTENANCE, REPAIRS, OR REPLACEMENT) AS INDICATED BY SUCH INSPECTION.
 5. TRASH AND DEBRIS SHALL BE REMOVED FROM THE BASIN AND ANY INLET OR OUTLET STRUCTURES WHENEVER OBSERVED BY INSPECTION.
 6. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT SIGNIFICANTLY AFFECTS BASIN INFILTRATION CAPACITY.
- SPECIFICATIONS**
7. PONDS SHALL BE CONSTRUCTED IN THE INITIAL STAGES OF CONSTRUCTION.
 8. FOUNDATION PREPARATION - THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED SLOPES AND SPILLWAYS. FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IS SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS.



TYPICAL GRASS TREATMENT SWALE W/BERM

- MAINTENANCE**
- THE EARTH DIKE SHALL BE INSPECTED AFTER EVERY STORM AND REPAIRS MADE TO THE DIKE, FLOW CHANNEL, AND THE OUTLET AS NECESSARY. DAMAGE CAUSED BY CONSTRUCTION EQUIPMENT SHOULD BE REPAIRED THE SAME DAY AS THE DAMAGE OCCURS. WHEN THE DIKE IS REMOVED, THE AREA SHALL BE SMOOTHED AND VEGETATED USING THE APPROPRIATE MEASURES OUTLINED IN THE BMP'S FOR VEGETATIVE MEASURES.
- TIMELY MAINTENANCE IS IMPORTANT TO KEEP THE VEGETATION IN THE SWALE IN GOOD CONDITION. MOWING SHOULD BE DONE FREQUENTLY ENOUGH TO KEEP THE VEGETATION IN VIGOROUS CONDITION AND TO CONTROL ENCROACHMENT OF WEEDS AND WOODY VEGETATION. HOWEVER IT SHOULD NOT BE MOWED BELOW 6 INCHES SO AS TO REDUCE THE FILTERING EFFECT. FERTILIZE ON AN "AS NEEDED" BASIS TO KEEP THE GRASS HEALTHY. OVER FERTILIZATION CAN RESULT IN THE SWALE BECOMING A SOURCE OF POLLUTION.
- THE SWALE SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE THE CONDITION OF THE SWALE. RILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AND RE-VEGETATED AS NECESSARY TO PREVENT FURTHER DETERIORATION.

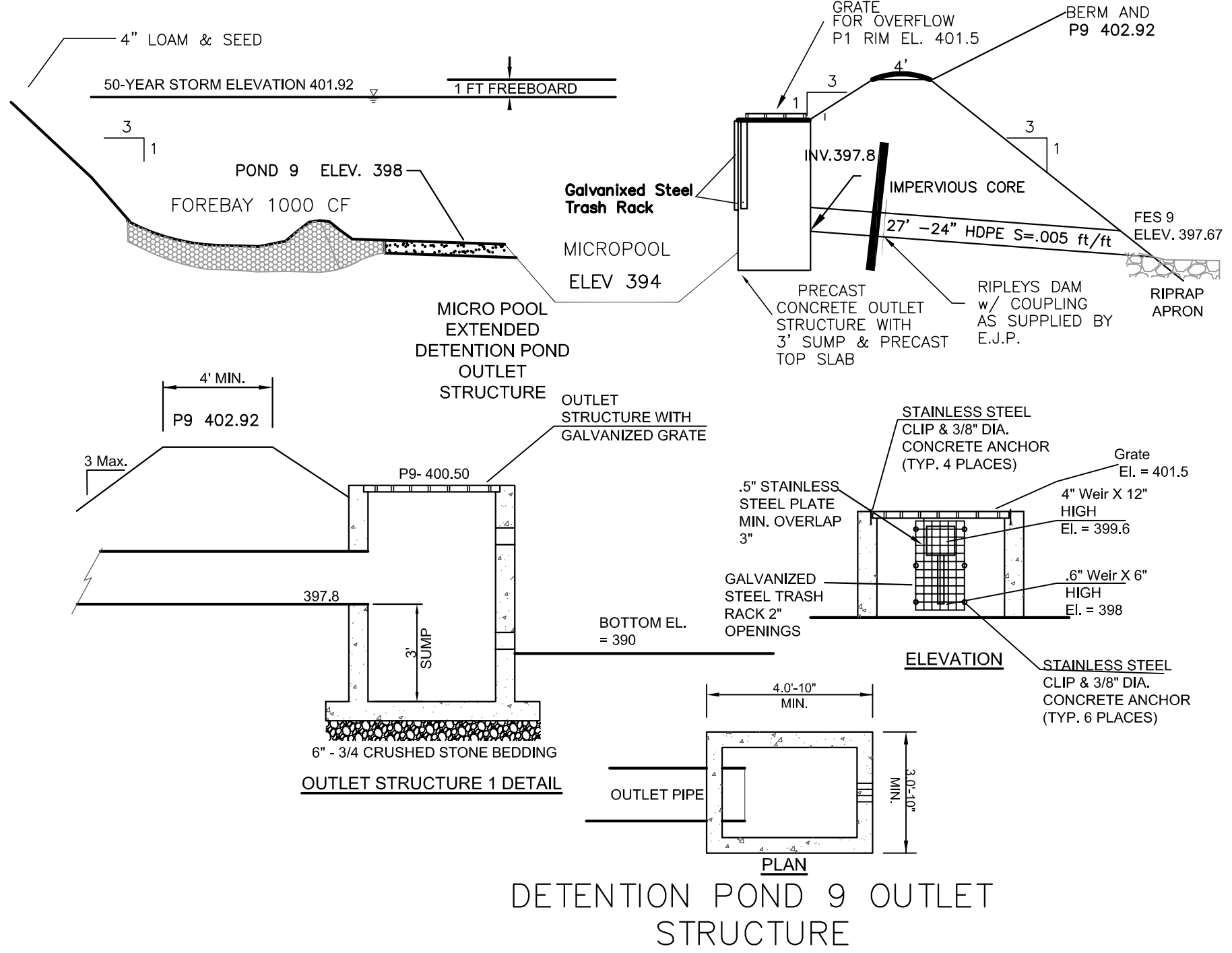
- CONSTRUCTION SPECIFICATIONS**
1. ALL DIKES SHALL BE COMPACTED BY EARTH-MOVING EQUIPMENT.
 2. ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
 3. TOP WIDTH MAY BE WIDER AND SIDE SLOPES TO BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRAFFIC.
 4. FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE
 5. EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RUFF SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR DRAINAGE AREA ABOVE THE DIKE ARE NOT ADEQUATELY STABILIZED.
 6. STABILIZATION SHALL BE IN ACCORDANCE WITH THE SEEDING FOR TEMPORARY PROTECTION OF DISTURBED AREAS BEST MANAGEMENT PRACTICE, THE MULCHING



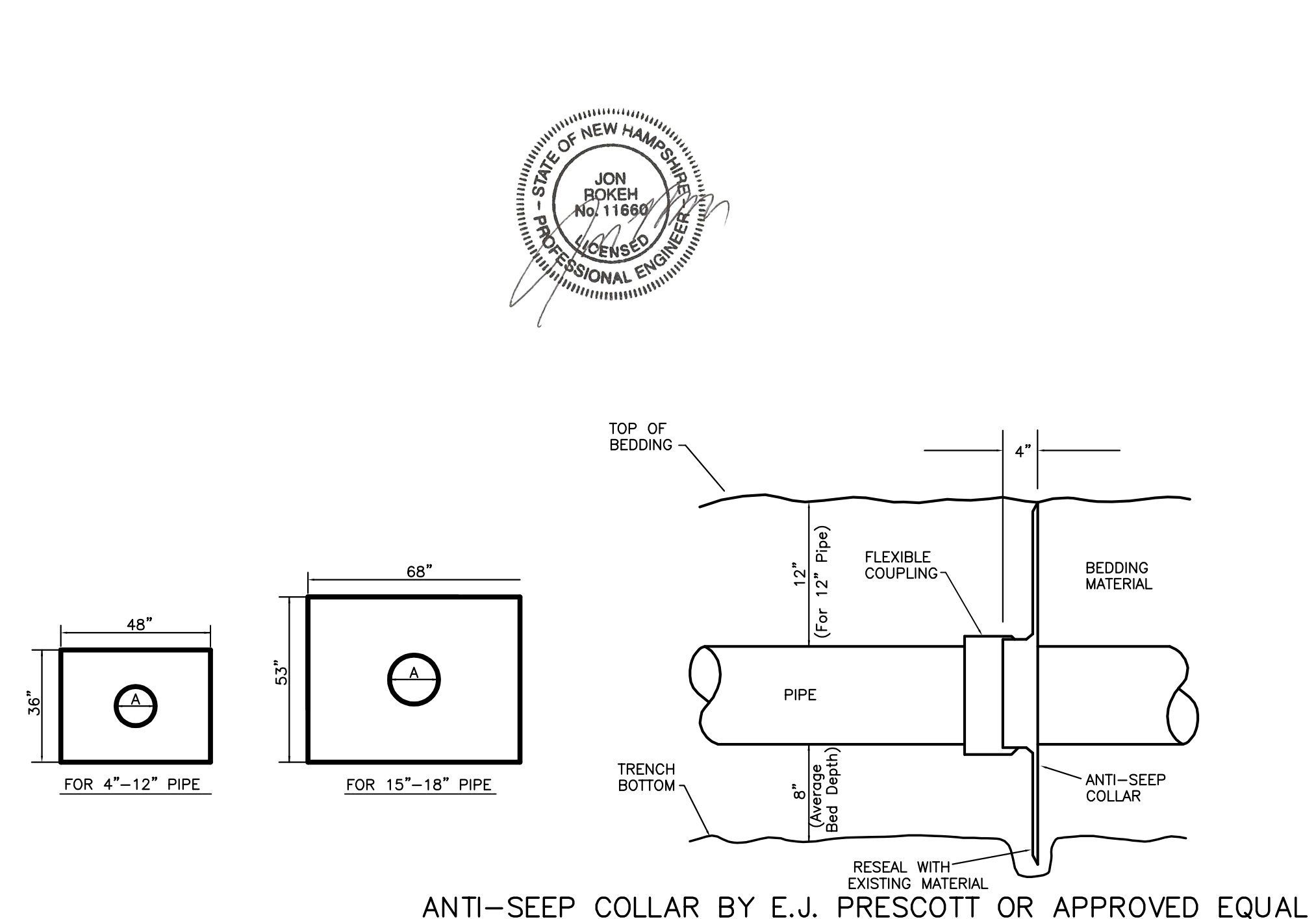
SECTION A-A NOT TO SCALE
DETENTION BASIN OVERFLOW WIER

- NOTES:**
1. ALL CEMENT TO BE 4000 PSI (MIN)
 2. GALVANIZED STEEL GRATE SHALL BE BOLTED TO TOP OF STRUCTURE WITH 1/2" STAINLESS STEEL BOLTS AND THREADED INSERTS.
 3. OUTLET PIPE SHALL NOT BE LESS THAN 15" DIAMETER AND SHALL BE SIZED FOR A 50-YEAR STORM.
 4. ALL OPENINGS SHALL BE CAST IN AS REQUIRED. MINIMUM CONCRETE WEIR WIDTH SHALL BE 2 INCHES.
 5. PRE CAST REINFORCED CONCRETE STRUCTURE TO MEET ASTM C-478 DESIGNATION AND H-20 LOADING.
 6. CONTROL WEIR SHALL BE SIZED TO MITIGATE DESIGN STORM AS REQUIRED BY THE REGULATIONS AND IN ACCORDANCE WITH THE APPROVED DRAINAGE CALCULATIONS. STAINLESS STEEL PLATE SHALL BE USED FOR CONTROL WEIRS LESS THAN 2 INCHES WIDE.
 7. ALL STAINLESS STEEL SHALL BE GRADE 316
 8. MINIMUM EMBANKMENT ELEVATION TO BE 12" ABOVE 100-YEAR STORM ELEVATION.
 9. ALL CONSTRUCTION TO COMPLY WITH THE MOST RECENT EDITION OF DERRY REGULATIONS.

- NOTES:**
1. IMPERVIOUS CORE AND POND LINER SOIL SAMPLES AND SIEVE ANALYSIS TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION. IMPERVIOUS SOILS TO MEET THE FOLLOWING CRITERIA, SOIL SHALL HAVE NO ORGANIC MATTER OR FROZEN MATERIAL AND NO STONES LARGER THAN 2/3 OF THE MAXIMUM LIFT SIDE. STONES AROUND ANY STRUCTURES AND/OR CONDUITS SHALL NOT EXCEED 3 INCHES. FILL MATERIAL SHALL HAVE THE FOLLOWING GRADATION:
- | SIEVE SIZE: | % PASSING |
|-------------|-----------|
| 95 - 100 | |
| #40 | 60 - 100 |
| #60 | 40 - 90 |
| #100 | 40 - 60 |
| #200 | 25 - 45 |
2. THE CONTRACTOR SHALL USE CARE NOT TO OVER EXCAVATE AND DISTURB THE EXISTING SOIL AT THE BERM AND OUTLET PIPE AREAS.
 3. IMPERVIOUS SOIL SHALL BE INSTALLED WITHIN THE LIMITS SHOWN ALONG THE BERM AREA. THE SOIL SHALL BE KEYED 12" INTO THE BOTTOM OF THE POND AND SHALL BE PLACED IN LIFTS NOT EXCEEDING 9" AND COMPACTED TO A MINIMUM 95% OF THE WET WEIGHT AS DETERMINED BY MODIFIED TESTING (ASTM 1557)
 4. AT THE IMPERVIOUS DAM AREA, THE DAM SHALL BE KEYED INTO TO BOTTOM AND SIDES OF THE TRENCH A MINIMUM OF 2". THE IMPERVIOUS SOIL SHALL BE PLACED IN LIFTS NOT EXCEEDING 9" AND COMPACTED TO A MINIMUM 95% OF THE WET WEIGHT AS DETERMINED BY MODIFIED TESTING (ASTM 1557)



DETENTION POND 9 OUTLET STRUCTURE



ANTI-SEEP COLLAR BY E.J. PRESCOTT OR APPROVED EQUAL

Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

CONSTRUCTION DETAILS
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS

DATE	DESCRIPTION	GRATE H20 LOADING DWN BY	CK BY
3-12-20	EDITS TO CONTRACTOR YARD LAYOUT	JR	JR

Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 50"
DATE: JANUARY 14, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 19 OF 23

BLASTING BMP'S

NOTE: IF GREATER THAN 5000 CUBIC YARD OF BLAST ROCK WILL BE GENERATED, A GROUNDWATER MONITORING PROGRAM MUST BE DEVELOPED AND SUBMITTED TO NHDES.

A. Best Management Practices for Blasting. All activities related to blasting shall follow Best Management Practices (BMPs) to prevent contamination of groundwater including preparing, reviewing and following an approved blasting plan; proper drilling, explosive handing and loading procedures; observing the entire blasting procedures; evaluating blasting performance; and handling and storage of blasted rock.

- (1) **Loading practices.** The following blasthole loading practices to minimize environmental effects shall be followed:
 - (a) Drilling logs shall be maintained by the driller and communicated directly to the blaster. The logs shall indicate depths and lengths of voids, cavities, and fault zones or other weak zones encountered as well as groundwater conditions.
 - (b) Explosive products shall be managed on-site so that they are either used in the borehole, returned to the the delivery vehicle, or placed in secure containers for off-site disposal.
 - (c) Spillage around the borehole shall either be placed in the borehole or cleaned up and returned to an appropriate vehicle for handling or placement in secured containers for off-site disposal.
 - (d) Loaded explosives shall be detonated as soon as possible and shall not be left in the blastholes overnight, unless weather or other safety concerns reasonably dictate that detonation should be postponed.
 - (e) Loading equipment shall be cleaned in an area where wastewater can be properly contained and handled in a manner that prevents release of contaminants to the environment.
 - (f) Explosives shall be loaded to maintain good continuity in the column load to promote complete detonation. Industry accepted loading practices for priming, stemming, decking and column rise need to be attended to.
- (2) **Explosive Selection.** The following BMPs shall be followed to reduce the potential for groundwater contamination when explosives are used:
 - (a) Explosive products shall be selected that are appropriate for site conditions and safe blast execution.
 - (b) Explosive products shall be selected that have the appropriate water resistance for the site conditions present to minimize the potential for hazardous effect of the product upon groundwater.
- (3) **Prevention of Misfires.** Appropriate practices shall be developed and implemented to prevent misfires.
- (4) **Muck Pile Management.** Muck piles (the blasted pieces of rock) and rock piles shall be managed in a manner to reduce the potential for contamination by implementing the following measures:
 - (a) Remove the muck pile from the blast area as soon as reasonably possible.
 - (b) Manage the interaction of blasted rock piles and stormwater to prevent contamination of water supply wells or surface water.

- (5) **Spill Prevention Measures and Spill Mitigation.** Spill prevention and spill mitigation measures shall be implemented to prevent the release of fuel and other related substances to the environment. The measures shall include at a minimum:
 - (a) The fuel storage requirements shall include:
 1. Storage of regulated substances on an impervious surface.
 2. Secure storage areas against unauthorized entry.
 3. Label regulated containers clearly and visibly.
 4. Inspect storage areas weekly.
 5. Cover regulated containers in outside storage areas.
 6. Wherever possible, keep regulated containers that are stored outside more than 50 feet from surface water and storm drains, 75 feet from private wells, and 400 feet from public wells.
 7. Secondary containment is required for containers containing regulated substances stored outside, except for on premise use heating fuel tanks, or aboveground or underground storage tanks otherwise regulated.
 - (b) The fuel handling requirements shall include:
 1. Except when in use, keep containers containing regulated substances closed and sealed.
 2. Place drip pans under spigots, valves, and pumps.
 3. Have spill control and containment equipment readily available in all work areas.
 4. Use funnels and drip pans when transferring regulated substances.
 5. Perform transfers of regulated substances over an impervious surface.
 - (c) The training of on-site employees and the on-site posting of release response information describing what to do in the event of a spill of regulated substances.
 - (d) Fueling and maintenance of excavation, earthmoving and other construction related equipment will comply with the regulations of the New Hampshire Department of Environmental Services [note these requirements are summarized in WD-DWGB-22-6 Best Management Practices for Fueling and Maintenance of Excavation and Earthmoving Equipment" or its successor document. (see <http://des.nh.gov/organization/commissioner/pip/factsheets/dwgb/documents/dwgb-22-6.pdf>)



Developer:
DBU CONSTRUCTION
PO Box 984
Epsom, NH 03234

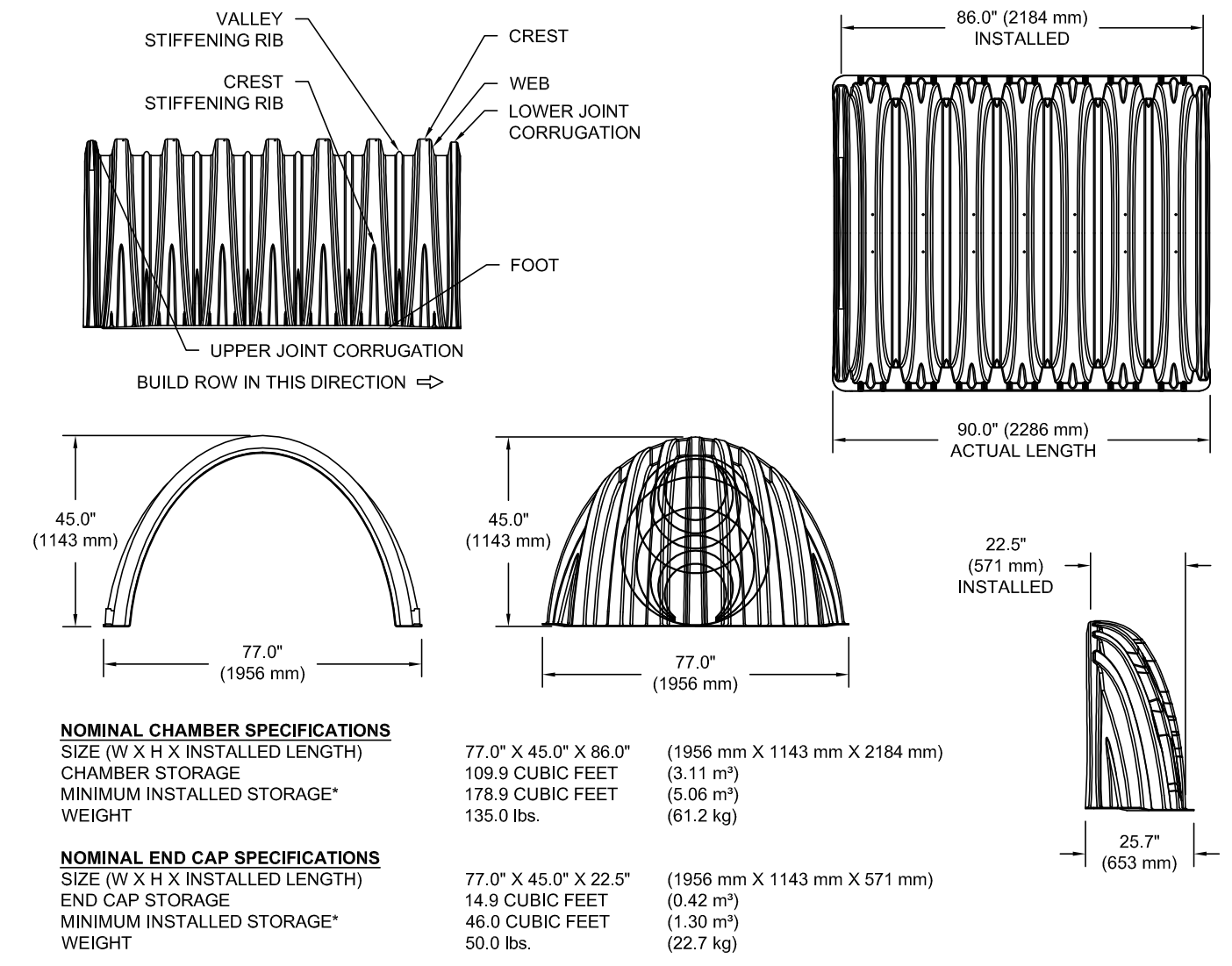
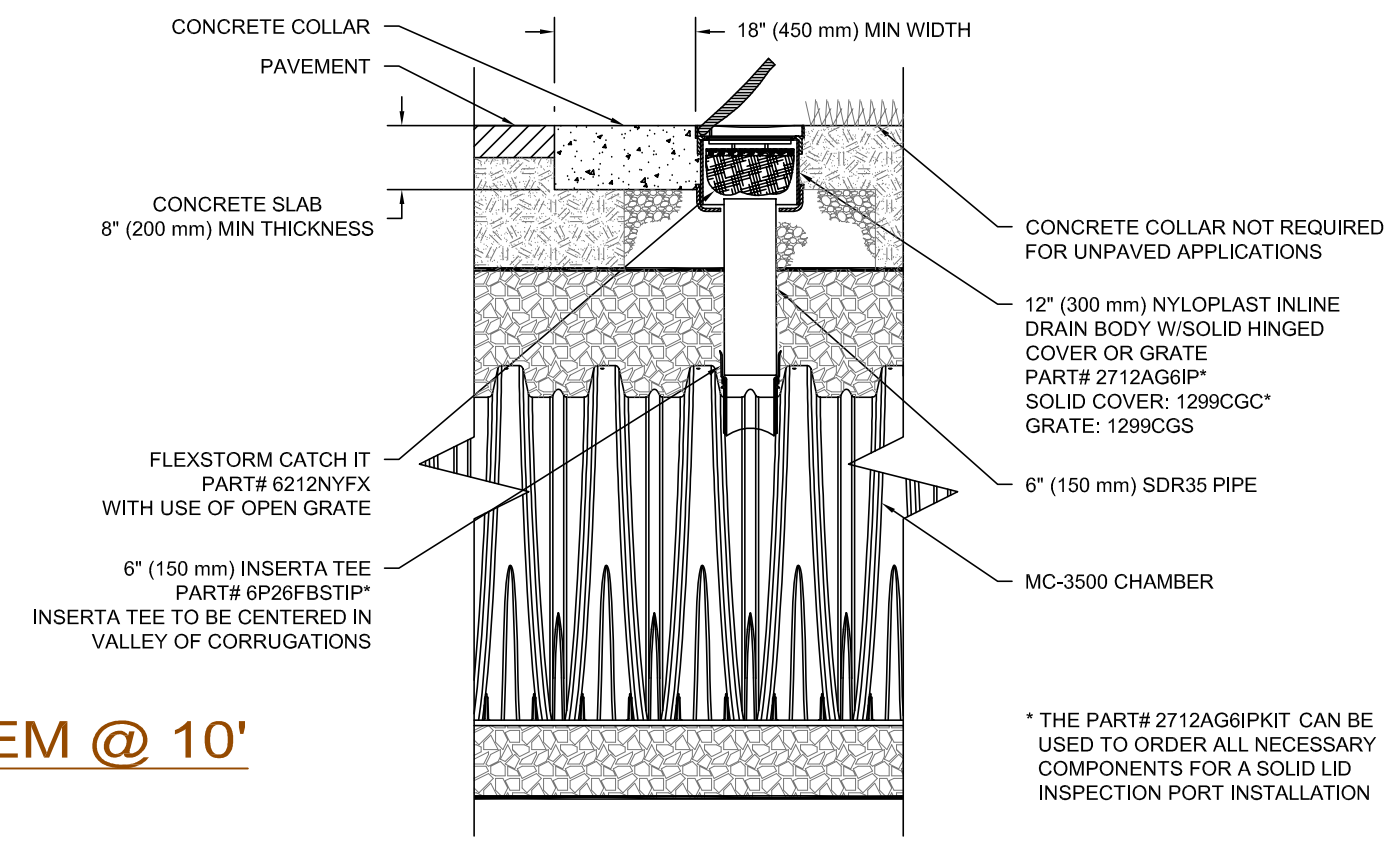
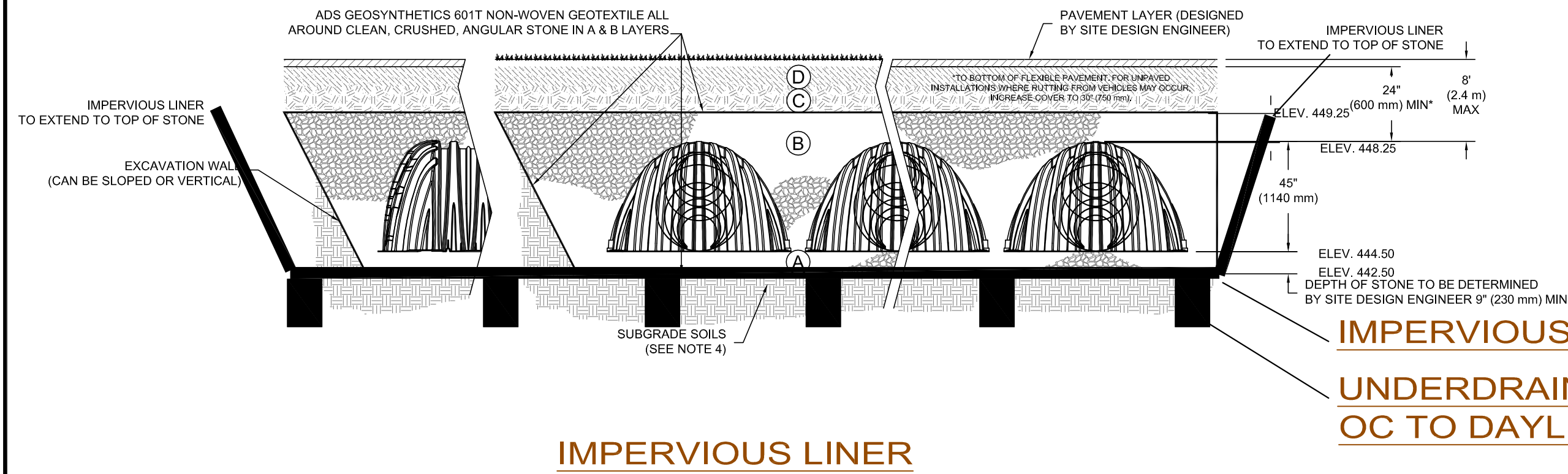
CONSTRUCTION DETAILS
COMMERCIAL SITE PLAN
TAX PARCEL 4 LOT 151
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS		GRATE H20 LOADING	DWN BY	CK BY
DATE	DESCRIPTION			
6-26-19	EDITS PER AOT COMMENTS		BT	JR

Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 50'
DATE: JANUARY 14, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 20 OF 23

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

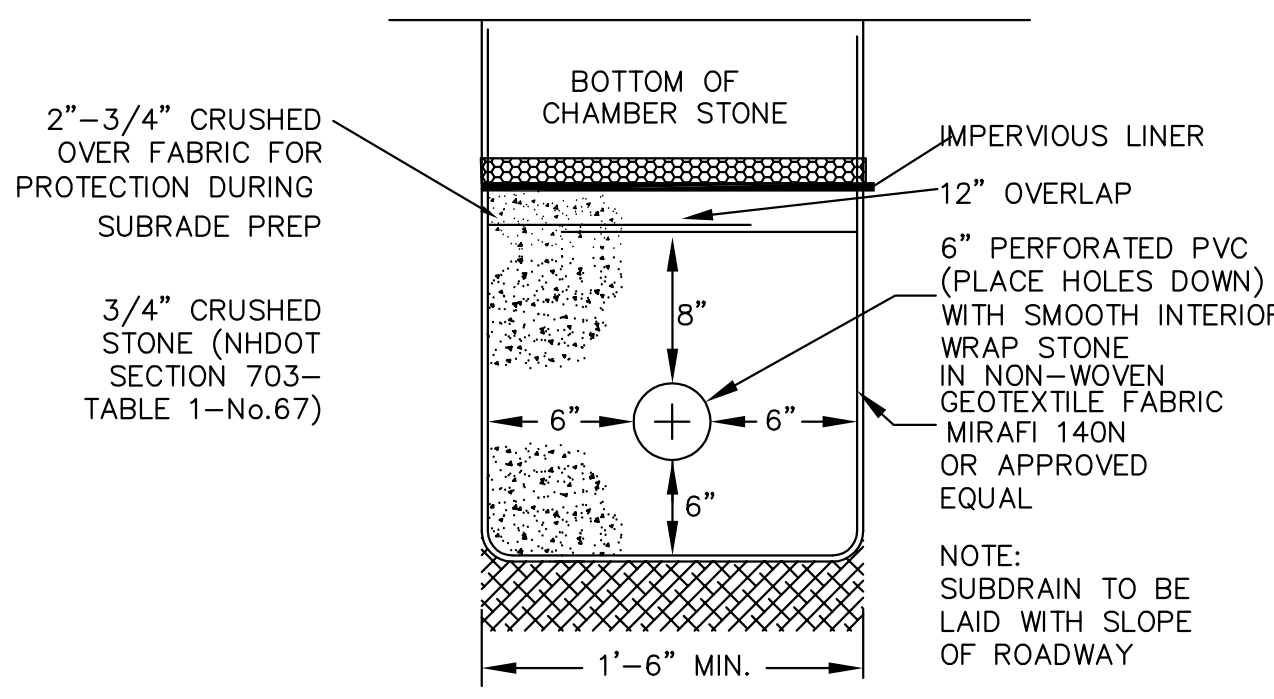


INSPECTION & MAINTENANCE

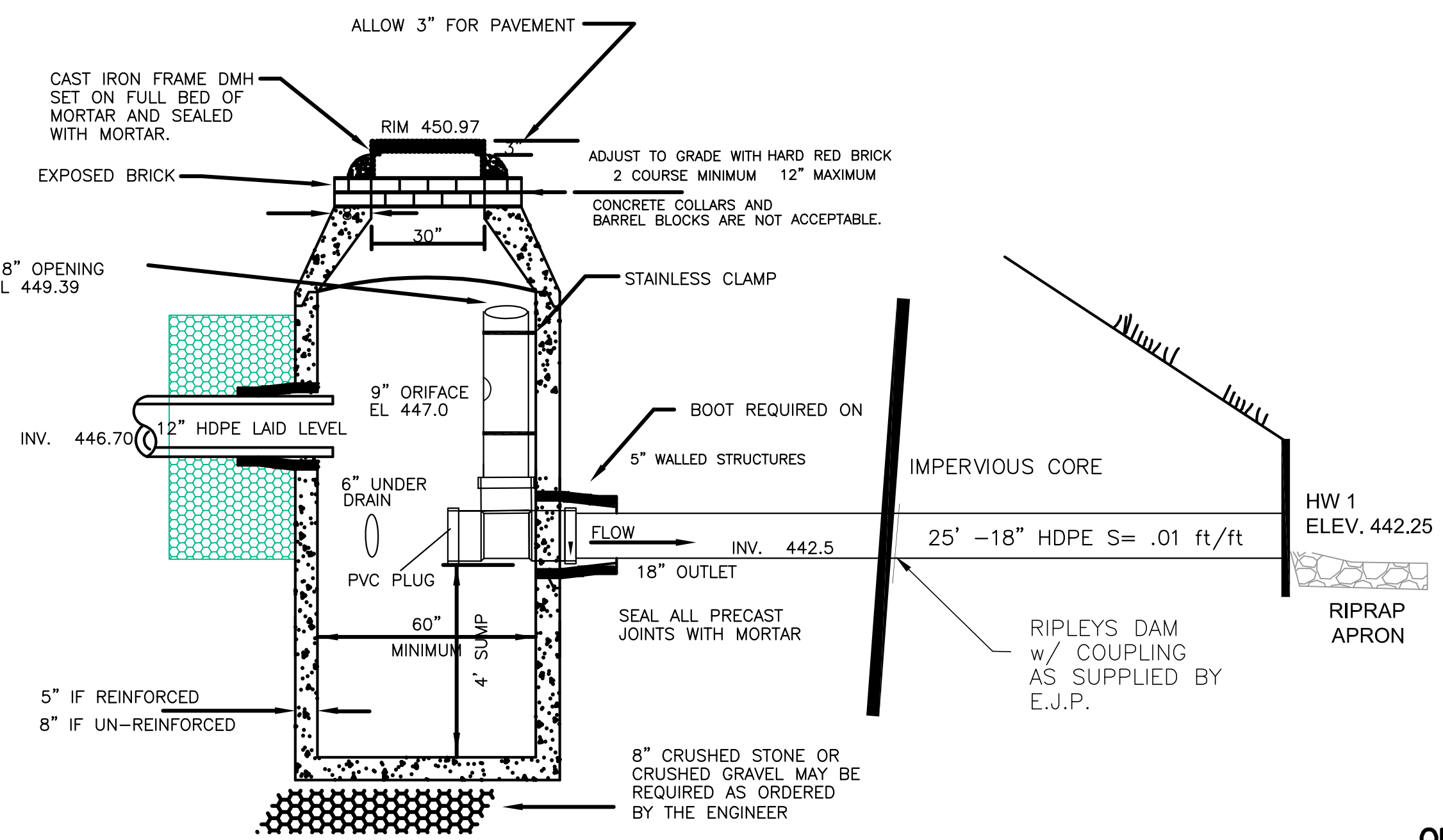
- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
 A. INSPECTION PORTS (IF PRESENT)
 A.1. REMOVE/OPEN LID ON NYLOPLAST IN-LINE DRAIN
 A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 B. ALL ISOLATOR ROWS
 B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
 B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
 A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



TYPICAL CROSS SECTION
 SUBDRAINS TO BE TIED TO HEADWALLS OR DRAINAGE DITCHES
CHAMBER SUBDRAIN DETAIL TYPICAL



MC-3500 TECHNICAL SPECIFICATION
 NTS

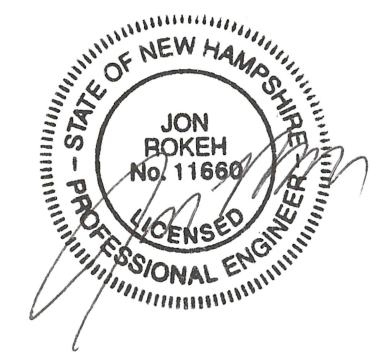
STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
 STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	B	C
MC3500EPP06BT	6" (150 mm)	33.21" (844 mm)	0.68" (17 mm)
MC3500EPP06B	---	---	---
MC3500EPP08T	8" (200 mm)	31.16" (791 mm)	---
MC3500EPP08B	---	---	0.81" (21 mm)
MC3500EPP10T	10" (250 mm)	29.04" (738 mm)	---
MC3500EPP10B	---	---	0.93" (24 mm)
MC3500EPP12T	12" (300 mm)	26.36" (670 mm)	---
MC3500EPP12B	---	---	1.35" (34 mm)
MC3500EPP15T	15" (375 mm)	23.39" (594 mm)	---
MC3500EPP15B	---	---	1.50" (38 mm)
MC3500EPP18TC	18" (450 mm)	20.03" (509 mm)	---
MC3500EPP18BC	---	---	1.77" (45 mm)
MC3500EPP24TC	24" (600 mm)	14.48" (368 mm)	---
MC3500EPP24BC	---	---	2.06" (52 mm)
MC3500EPP30BC	30" (750 mm)	---	---

NOTE: ALL DIMENSIONS ARE NOMINAL.
 CUSTOM PRECORDED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS.
 CUSTOM INVERT LOCATIONS ON THE MC-3500 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm).
 THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

NOTE:
 SEE ADS SHOP DRAWINGS FOR UNDERGROUND DETENTION DETAILS AND CONSTRUCTION

OUTLET STRUCTURE DETAIL



Developer:
 DBU CONSTRUCTION
 PO Box 984
 Epsom, NH 03234

STORMTECH DETAILS
 COMMERCIAL SITE PLAN
 TAX PARCEL 4 LOT 151
 DOVER ROAD
 CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS

DATE	DESCRIPTION	GRATE H2O LOADING DWN BY	CK BY

Rokeh Consulting, LLC
 89 KING ROAD, CHICHESTER, NH
 PH: 603-387-8688

SCALE: 1" = 40"
 DATE: JANUARY 14, 2019
 DR. BY: JR CK. BY: JR
 JOB NO. _____
 SHEET NO. 21 OF 23

Registry Book & Page _____

CHICHESTER PLANNING BOARD

SITE PLAN REVIEW APPLICATION

Owner of Record: **Mal-Mar, LLC** Date Received: _____

Map Number: **4** Lot Number: **150C & 150E** Fee Paid: _____ Check Number: _____

Address: **9 Dover Road, Chichester, NH 03258**

Daytime Phone Number: **603-765-0013** Evening Phone Number: _____

Prepared by: **Rokeh Consulting, LLC**

Address: **PO BOX 204, EPSOM NH 03234**

Daytime Phone Number: **603-387-8688** Evening Phone Number: _____

1. Road Location: **9 Dover Road**

2. Property Located in a **CI / MF** zone.

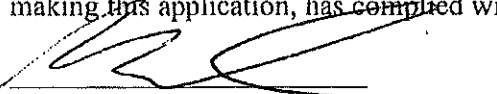
3. Land is in open space (current use): _____ YES; NO

4. Area of entire tract: **10.6671** (acres). Portion to be utilized: **93,000 sf** (acres or square feet)

5. Describe planned use:

An expansion of the site is proposed to regrade and create additional storage area for the existing retail sales business.

The applicant agrees that he/she is familiar with the Site Plan Regulations of the Town of Chichester and the Laws of the State of New Hampshire governing site plan review, and in making this application, has complied with the same.


Property Owner or Applicant

1-6-2020
Date

Chichester Planning Board
Site Plan Review Checklist

In cases where not all items are applicable, draw a line through the items.

APPLICABLE (Y/N)	INCLUDED (Y/N)	INITIALS	
<u>Y</u>	_____	_____	1. Three copies of the completed application and checklist
<u>Y</u>	_____	_____	2. Site plan: 22" by 34" sheet size maximum, scale not less than 1" =100', match lines where needed, boundaries, water courses & bodies of water, trees and other vegetation, topography at 2' intervals to USGS datum, existing and proposed contours and finished grade elevations and other pertinent features, date, title, graphic scale, north arrow, location map, name & address of developer/applicant, designer/engineer, owner of record. On mylar sufficient to record.
<u>Y</u>	_____	_____	3. List of names and addresses of abutters and owners of land within 200' of any property line. (YOU MAY NOT ABUT YOURSELF)
<u>Y</u>	_____	_____	4. The appropriate fee
<u>Y</u>	_____	_____	5. Plan of all buildings depicting their type, size, and location (setbacks)
<u>Y</u>	_____	_____	6. An elevation view or photo of all buildings
<u>Y</u>	_____	_____	7. Layout of off-street parking and loading
<u>Y</u>	_____	_____	8. Ingress-egress of site and depiction of streets both within and adjacent to site
<u>Y</u>	_____	_____	9. Solid waste disposal facilities
<u>Y</u>	_____	_____	10. Location; size, and design of signs and advertising or instructional devices
<u>Y</u>	_____	_____	11. Location, type, direction, and illuminated area of outside lighting
<u>Y</u>	_____	_____	12. Other required exhibits or data, any permits specific to site.
<u>Y</u>	_____	_____	13. Permanent first floor elevation of proposed buildings
<u>Y</u>	_____	_____	14. Existing water supply and sewage disposal facilities on the site and within 200' of the site, proposed water and sewage facilities, and provisions for expansion of water and sewage facilities
<u>Y</u>	_____	_____	15. Location, elevation, and layout of surface drainage facilities
<u>Y</u>	_____	_____	16. Existing and proposed landscaping and open space areas and treatment
<u>Y</u>	_____	_____	17. Gas, electric, telephone, CATV utility lines

Y			18. Boundry survey shown
Y			19. Description or depiction of proposed grading, filling, or other site preparation
Y			20. Existing and proposed buffers
Y			21. Existing and proposed screening
Y			22. Sidewalks, access, loading & parking
Y			23. Erosion and sedimentation control plan
Y			24. Flood plain areas
Y			25. Town Engineer authorization
Y			26. Wetlands Setbacks.



The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

March 16, 2020

Mr. Mark Blanchard
Mal-Mar, LLC
9 Dover Road
Chichester, NH 03258

Re: Site Plan for Bobcat of NH
9 Dover Road – Chichester, NH
Tax Map 4 Lots 150B, 150C & 150E

Permit: AoT-1765

Dear Applicant:

Based upon the plans and application, approved on March 16, 2020, we are hereby issuing RSA 485-A:17 Alteration of Terrain Permit AoT-1765. The permit is subject to the following conditions:

PROJECT SPECIFIC CONDITIONS:

1. The approved plans, dated October 2, 2019, latest revision dated March 16, 2020, and supporting documentation in the permit file are a part of this approval.
2. **This permit expires on March 16, 2025.** No earth moving activities shall occur on the project after this expiration date unless the permit has been extended by the Department. If requesting an extension, the request must be received by the department before the permit expires. The Amendment Request form is available at:
<http://des.nh.gov/organization/divisions/water/aot/categories/forms.htm>
3. In accordance with Env-Wq 1503.21 (c)(1), a written notice signed by the permit holder and a qualified engineer shall be submitted to DES stating that the project was completed in accordance with the approved plans and specifications. If deviations were made, the permit holder shall review the requirements in Env-Wq 1503.21(c)(2).
4. Plans show that shared stormwater best management practices (BMPs) are located within drainage easements on two lots. In accordance with Env-Wq 1504.07(d), copies of recorded easements must be submitted to DES within 7 days of recording with the Registry of Deeds. Alternatively, if the lots are merged, submit a recorded deed and recorded copy of the lot consolidation plan.
5. The permittee shall employ the services of an Environmental Monitor (EM) for the purposes of providing independent professional environmental inspections of the project. The permittee shall receive prior approval of the EM by the Department. The EM shall inspect the project at a minimum frequency of once per week and following rainfall events of 0.5-inch or greater in a 24-hour period. The inspections shall be for the purposes of determining compliance with the permit. The Monitor shall submit a written report, stamped by a qualified engineer or a Certified Professional in Erosion and Sediment Control to the Department within 24 hours of the inspections. The reports shall describe, at a minimum, whether the project is being constructed in accordance with the approved sequence, shall identify any deviation from the conditions of this permit and the approved plans, and identify any other noted deficiencies. Reports should be submitted to michael.schlosser@des.nh.gov.

www.des.nh.gov

29 Hazen Drive • PO Box 95 • Concord, NH 03302-0095
(603) 271-3503 • TDD Access: Relay NH 1-800-735-2964

GENERAL CONDITIONS:

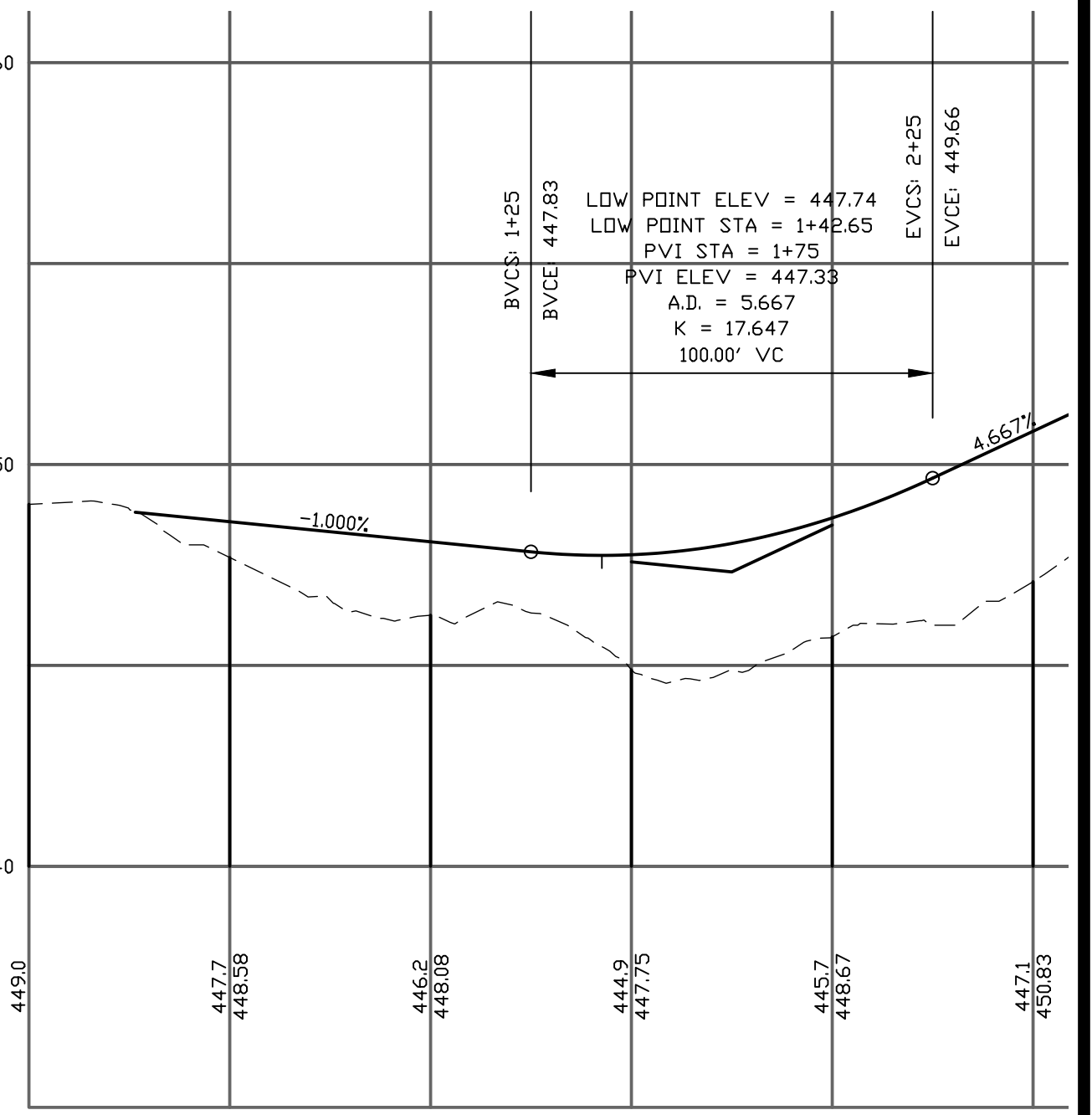
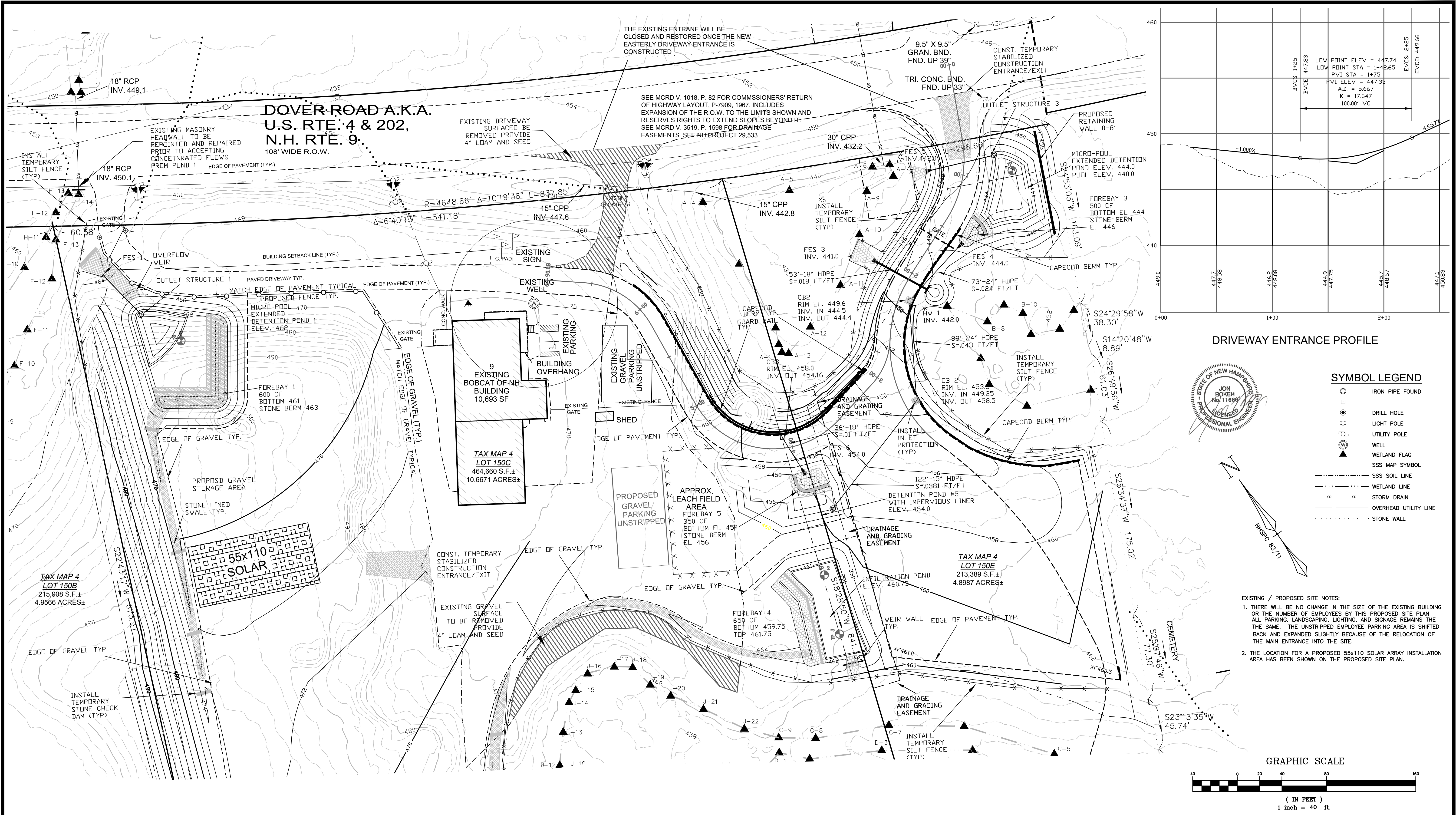
1. Activities shall not cause or contribute to any violations of the surface water quality standards established in Administrative Rule Env-Wq 1700.
2. You must submit revised plans for permit amendment prior to any changes in construction details or sequences. You must notify the Department in writing within ten days of a change in ownership.
3. You must notify the Department in writing prior to the start of construction and upon completion of construction. Forms can be submitted electronically at: <https://forms.nh.gov/onlineforms/>. Paper forms are available at that same web page.
4. **All stormwater practices shall be inspected and maintained in accordance with Env-Wq 1507.07 and the project Inspection and Maintenance (I&M) Manual.** All record keeping required by the I&M Manual shall be maintained by the identified responsible party, and be made available to the department upon request. Photographs of the site and BMPs must accompany the I&M submittals.
5. This permit does not relieve the applicant from the obligation to obtain other local, state or federal permits that may be required (e.g., from US EPA, US Army Corps of Engineers, etc.). Projects disturbing over 1 acre may require a federal stormwater permit from EPA. Information regarding this permitting process can be obtained at: <http://des.nh.gov/organization/divisions/water/stormwater/construction.htm>.
6. If applicable, no activity shall occur in wetland areas until a Wetlands Permit is obtained from the Department. Issuance of this permit does not obligate the Department to approve a Wetlands Permit for this project.
7. This project has been screened for potential impact to known occurrences of protected species and exemplary natural communities in the immediate area. Since many areas have never been surveyed, or have not been surveyed in detail, unidentified sensitive species or communities may be present. This permit does not absolve the permittee from due diligence in regard to state, local or federal laws regarding such communities or species.

Sincerely,



Michael Schlosser, PE
Alteration of Terrain Bureau

cc: Chichester Planning Board
Jon Rokeh, Rokeh Consulting, LLC (via email)



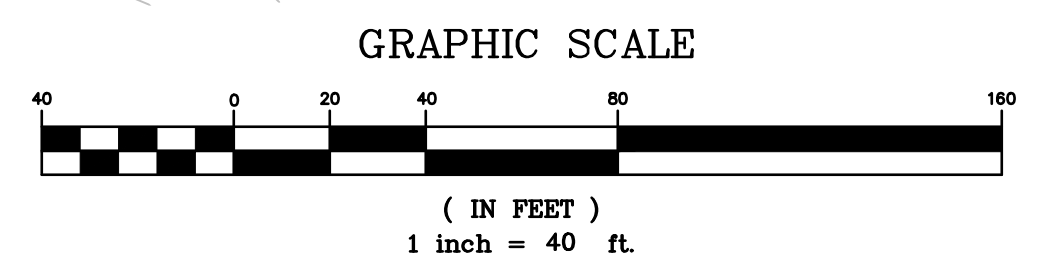
DRIVEWAY ENTRANCE PROFILE



SYMBOL LEGEND

- IRON PIPE FOUND
- DRILL HOLE
- ⊙ LIGHT POLE
- ⊕ UTILITY POLE
- ⊗ WELL
- ▲ WETLAND FLAG
- SSS MAP SYMBOL
- SSS SOIL LINE
- WETLAND LINE
- STORM DRAIN
- OVERHEAD UTILITY LINE
- STONE WALL

- EXISTING / PROPOSED SITE NOTES:
- THERE WILL BE NO CHANGE IN THE SIZE OF THE EXISTING BUILDING OR THE NUMBER OF EMPLOYEES BY THIS PROPOSED SITE PLAN. ALL PARKING, LANDSCAPING, LIGHTING, AND SIGNAGE REMAINS THE SAME. THE UNSTRIPPED EMPLOYEE PARKING AREA IS SHIFTED BACK AND EXPANDED SLIGHTLY BECAUSE OF THE RELOCATION OF THE MAIN ENTRANCE INTO THE SITE.
 - THE LOCATION FOR A PROPOSED 55x110 SOLAR ARRAY INSTALLATION AREA HAS BEEN SHOWN ON THE PROPOSED SITE PLAN.



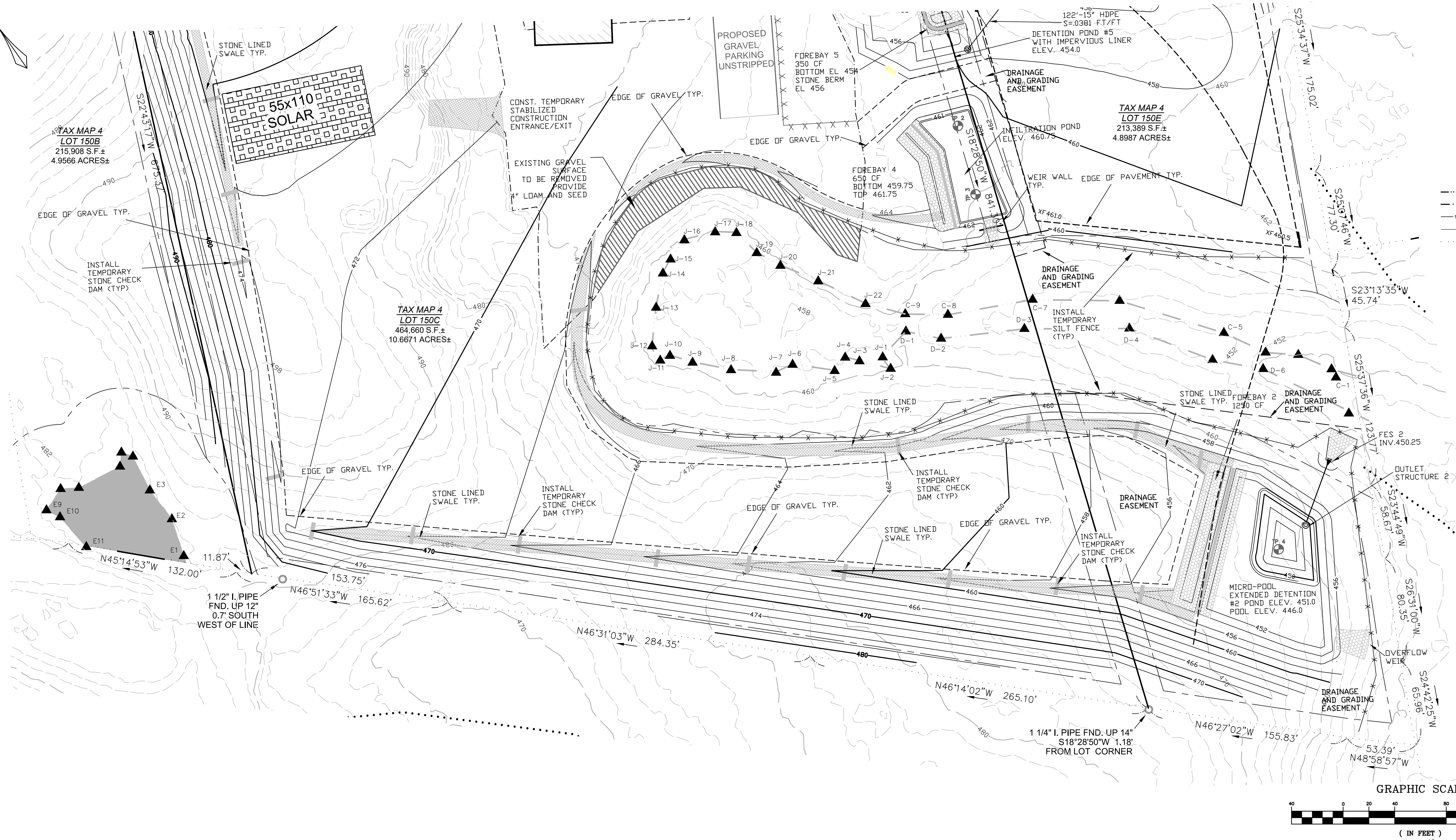
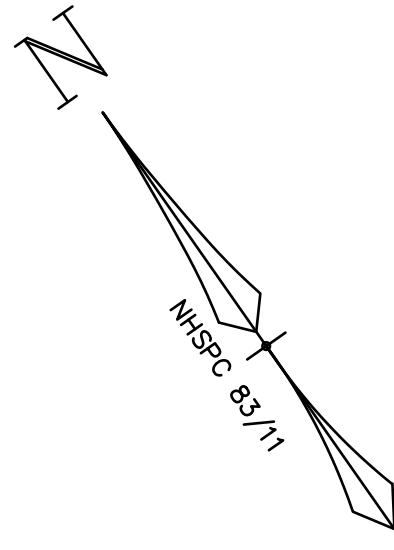
Developer
Mal-Mar, LLC
20 Summit Avenue,
Derry, NH

**DRAINAGE GRADING AND EROSION CONTROL
SITE PLAN**
TAX PARCEL 4 LOT 150C & E
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS		DWN BY	CK BY
DATE	DESCRIPTION		
03/05/20	ADDRESS NHDES AOT COMMENTS	JR	JR
03/13/20	ADDRESS NHDES AOT COMMENTS	JR	JR
04/02/20	ADDRESS NHDOT AND TOWN COMMENTS	JR	JR

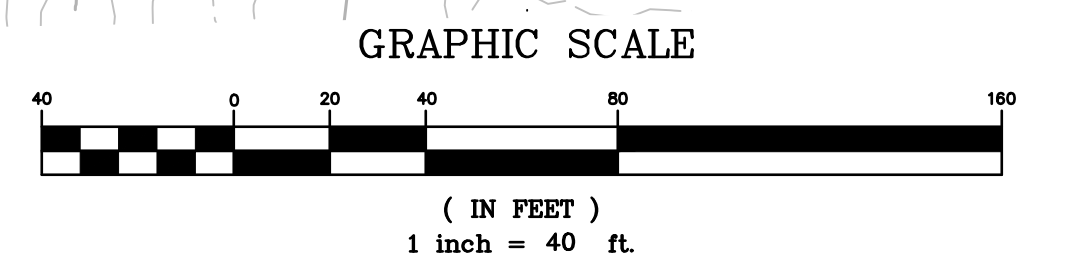
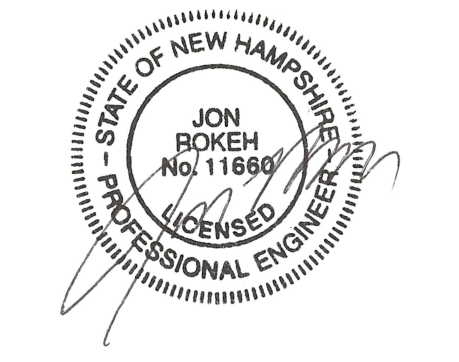
Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 40'
DATE: OCTOBER 2, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 3 OF 10



SYMBOL LEGEND

- IRON PIPE FOUND
- DRILL HOLE
- LIGHT POLE
- UTILITY POLE
- WELL
- WETLAND FLAG
- SSS MAP SYMBOL
- SSS SOIL LINE
- WETLAND LINE
- STORM DRAIN
- OVERHEAD UTILITY LINE
- STONE WALL



Developer
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 20 Summit Avenue,
 Derry, NH

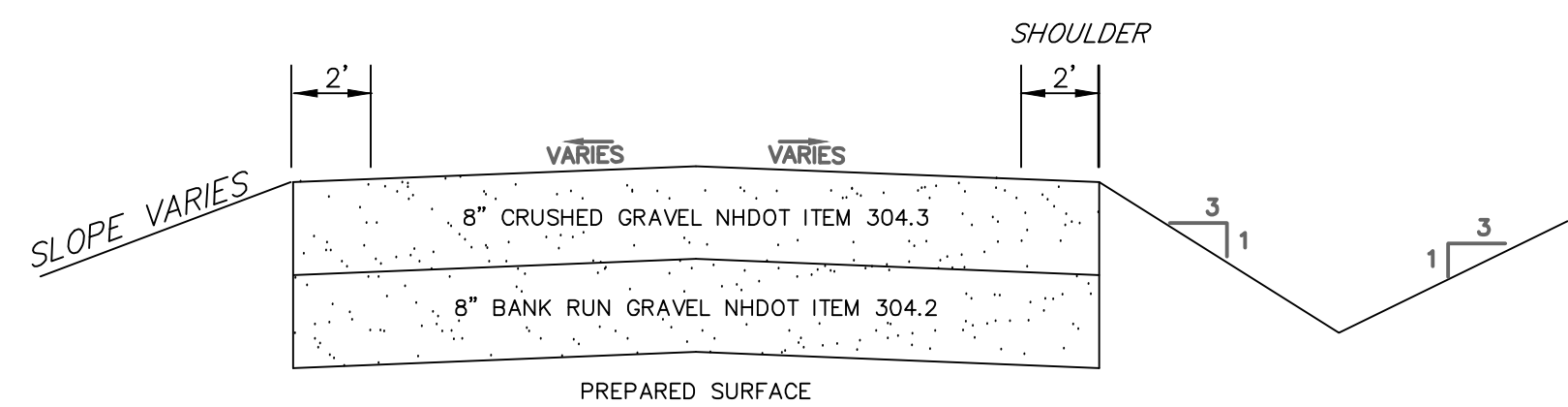
**DRAINAGE GRADING AND EROSION CONTROL
 SITE PLAN
 TAX PARCEL 4 LOT 150C & E
 DOVER ROAD
 CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE**

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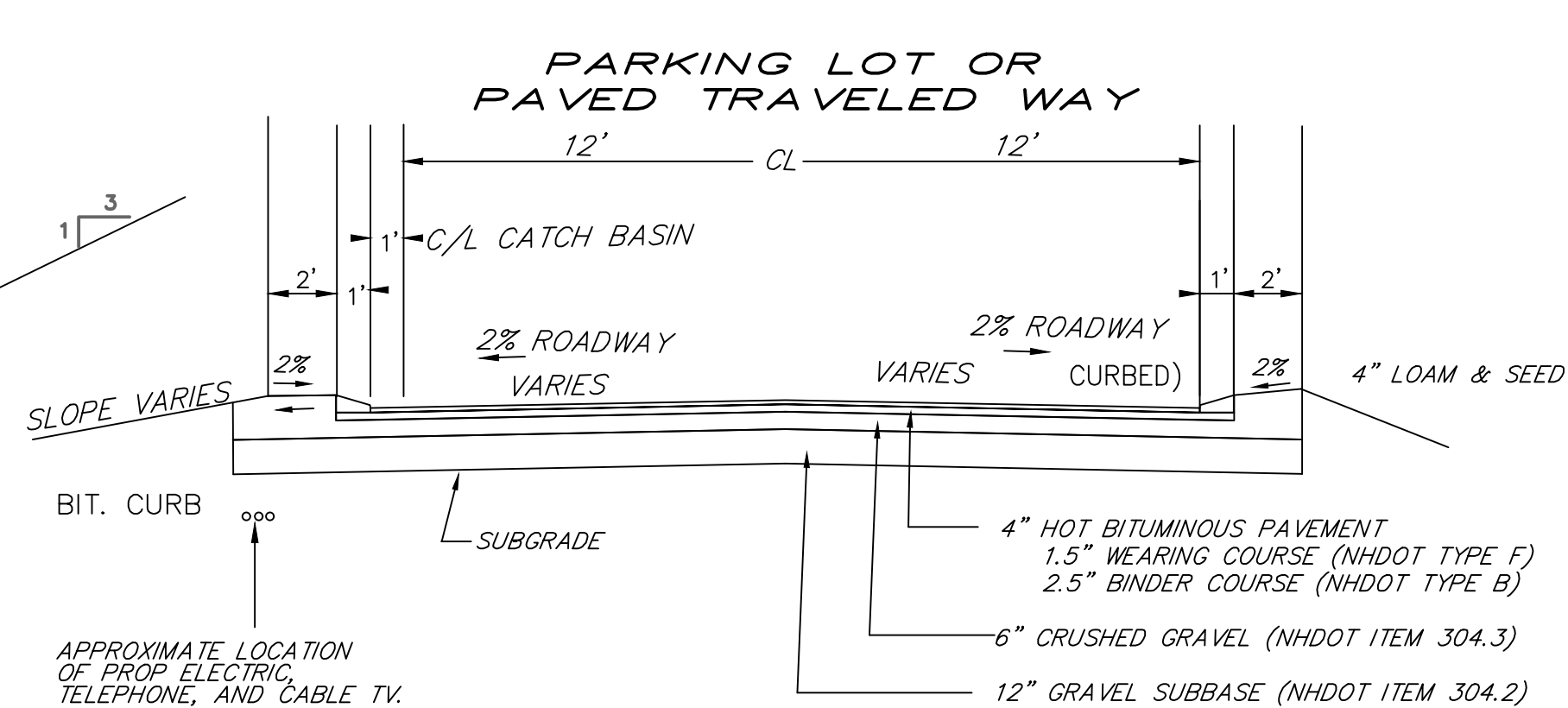
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 SHEET NO. 4 OF 10



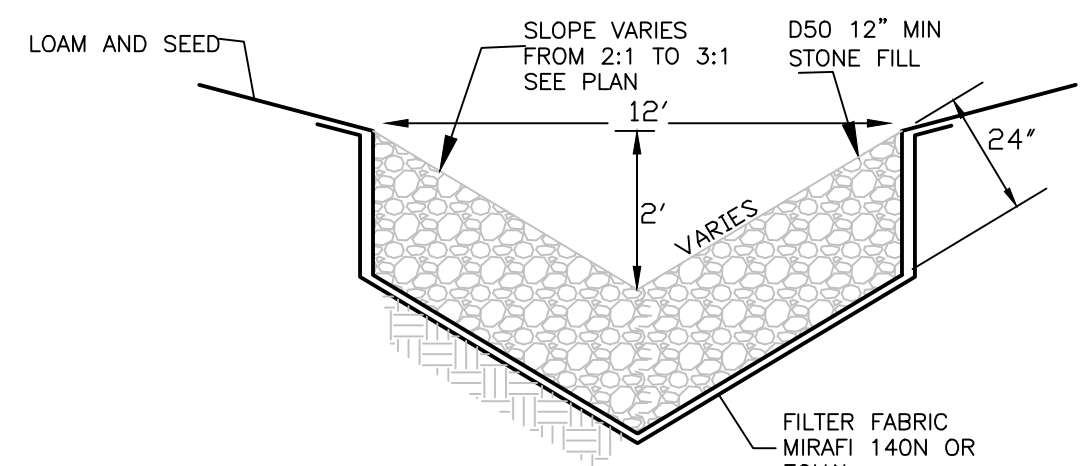
GRAVEL CONSTRUCTION YARD SECTION
(NOT TO SCALE)
GENERAL NOTES

- MINIMUM ACCEPTABLE STANDARDS FOR ALL CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NH DOT), STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST REVISION, (AND ALL SUBSEQUENT AMENDMENTS) AND THE TOWN OF CHICHESTER REGULATIONS. DRAINAGE DESIGN IS BASED ON THE "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK VOLUME II"
- ALL ELEVATIONS AND LOCATIONS OF EXISTING UTILITY AND DRAINAGE STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO UTILIZATION OF DESIGN ELEVATIONS ON THIS PLAN.
- BACKFILL OF TRENCHES AND ALL PAVED AREAS SHALL BE COMPACTED IN ACCORDANCE WITH NH DOT-STANDARD SPECIFICATIONS-SECTION 304.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES AND SHALL PROVIDE ALL NECESSARY CONTINUOUS BARRIERS OF SUFFICIENT TYPE, SIZE AND STRENGTH TO PREVENT ACCESS TO ALL OPEN EXCAVATIONS AT THE COMPLETION OF EACH DAYS WORK.
- ALL ELEVATIONS ARE BASED ON U.S.G.S. DATUM.
- THE CONTRACTOR SHALL BE AWARE OF HIS RESPONSIBILITY TO CONTACT "DIG SAFE" AT 111 SO. BEDFORD STREET, BURLINGTON, MA (1-888-344-7233) AT LEAST 72 WORKING HOURS PRIOR TO THE START OF ANY EXCAVATION.
- SHORING AND STABILIZING OF TRENCH SIDEWALLS DURING EXCAVATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK ADJACENT TO EXISTING ELWOOD AND WEST ROAD SHALL BE PERFORMED IN WITH THE STREET OPENING REQUIREMENTS OF THE TOWN OF CHICHESTER AND NH DOT STANDARD SPECIFICATIONS.
- ALL CULVERTS, DRAINAGE STRUCTURES AND ROAD CONSTRUCTION SHALL BE SUBJECT TO PARTIAL AND FINAL INSPECTION PRIOR TO ACCEPTANCE BY THE TOWN OF CHICHESTER. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING INSPECTION BY THE TOWN ENGINEER.
- UTILITY PLANS SHALL BE SUBMITTED TO THE TOWN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 4" TOPSOIL AND SEED OVER ALL DISTURBED UNPAVED AREAS UNLESS OTHERWISE SPECIFIED.
- CORRUGATED PLASTIC PIPE (CPP) WITH SMOOTH INTERIOR - ADS N-12 OR APPROVED EQUAL MAY BE SUBSTITUTED FOR REINFORCED CONCRETE DRAINAGE PIPE (RCP) WITH APPROVAL OF THE CHICHESTER DEPARTMENT OF PUBLIC WORKS AND TOWN ENGINEER.
- CONCRETE END SECTIONS, (FLARED ENDS) SHALL COMPLY WITH NH DOT STANDARD SPECIFICATIONS, HIGHWAY DESIGN MANUAL, PLATES 5 & 6, OF STANDARD 11 DATED 1979 AND ALL SUBSEQUENT AMENDMENTS.
- ALL DRIVEWAY GRADING IS SUBJECT TO DEPARTMENT OF PUBLIC WORKS REVIEW PRIOR TO DRIVEWAY CONSTRUCTION ON INDIVIDUAL LOTS. DRIVEWAY CULVERTS, LOCATED OUTSIDE OF THE TOWNS RIGHT OF WAY, MAY BE NECESSARY DEPENDING ON THE ACTUAL PROPOSED LOT DEVELOPMENT.
- ALL PAVEMENT MARKERS SHOWN CONFORM TO THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARDS PLANS FOR ROAD AND BRIDGE CONSTRUCTION.



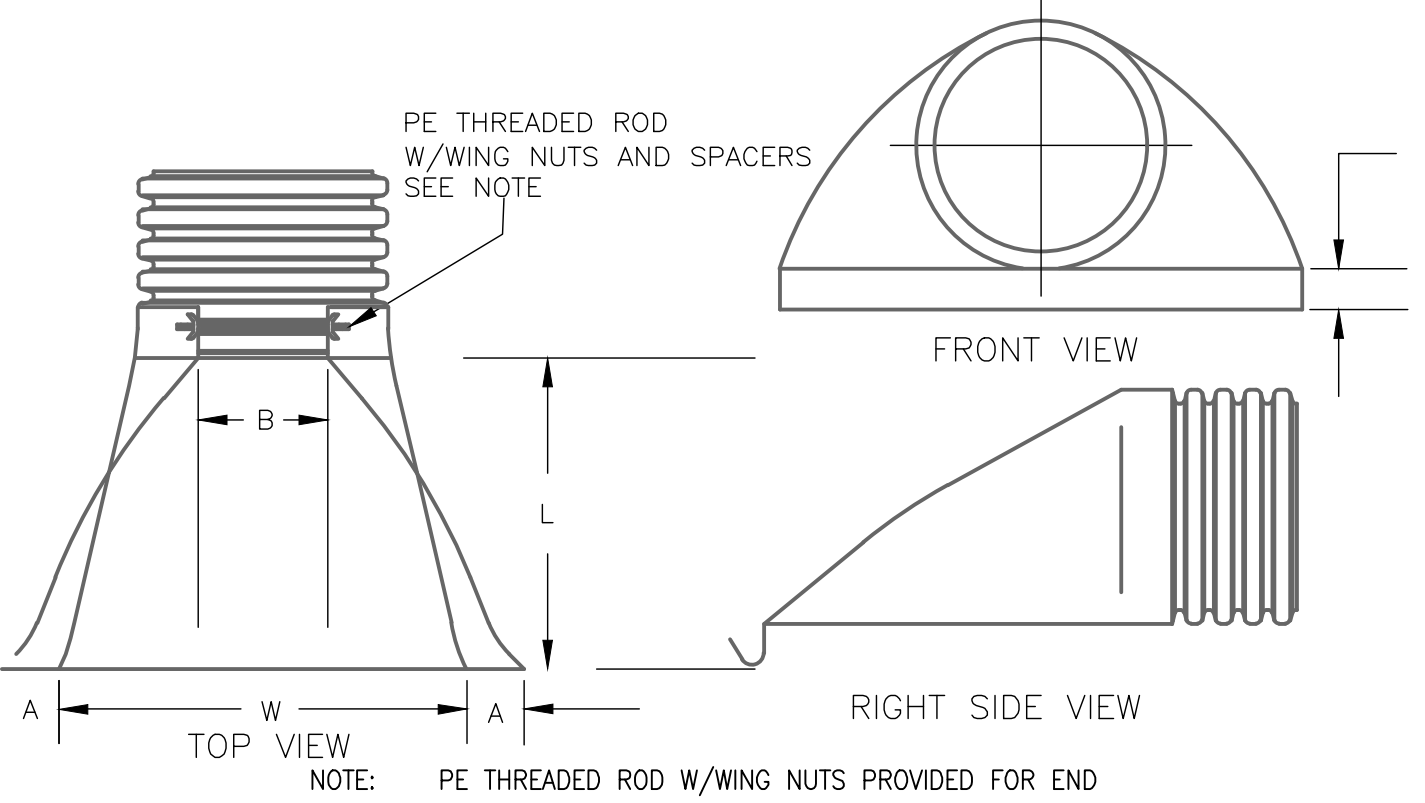
- NOTES**
- ALL ROADWAY CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE LATEST N.H.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2010 INCLUDING SUBSEQUENT AMENDMENTS AND EDITS.
 - PROVIDE 4" (MIN.) COMPACTED LOAM AND SEED ON ALL SIDE SLOPES AND DRAINAGE SWALES UNLESS OTHERWISE NOTED.
 - ALL LEDGE AND ROCK SHALL BE REMOVED TO 6" BELOW SUBGRADE.
 - ROADWAY UNDERDRAIN SHALL BE PROVIDED IN ALL CUT SECTIONS (AT SIDE WITH CUT) AND WHERE SEASONAL HIGH WATER IS WITHIN FOUR (4) FEET OF FINISHED GRADE IN ALL OTHER AREAS. UNDERDRAIN SHALL HAVE A MINIMUM OF FOUR (4) FEET OF COVER.

TYPICAL ROADWAY SECTION
(NOT TO SCALE)

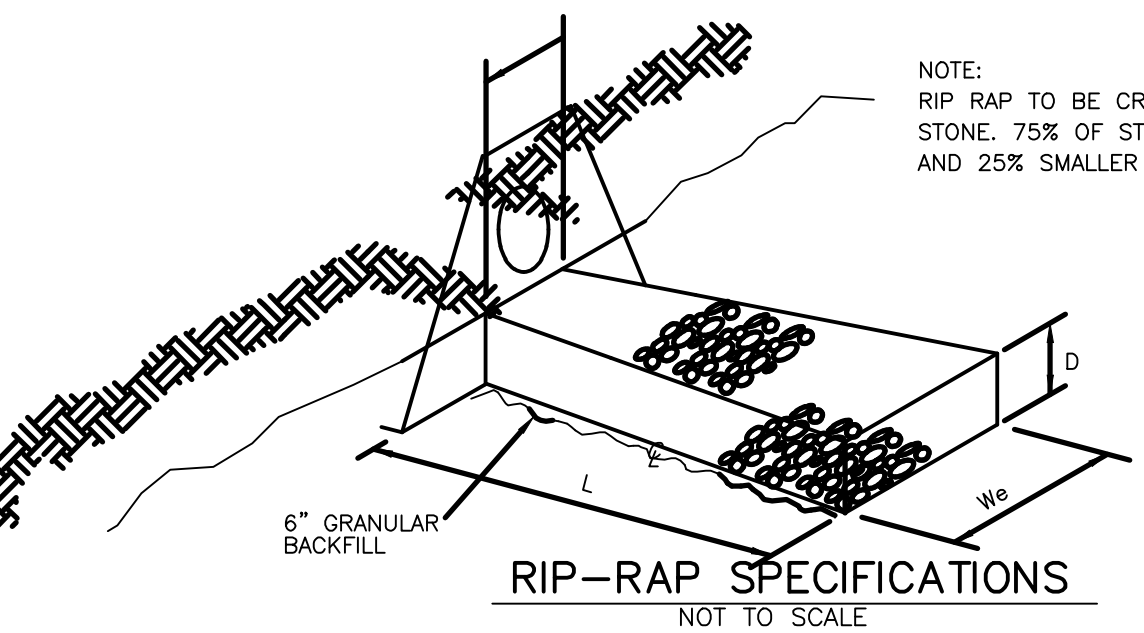


TYPICAL STONE LINED SWALE
(NOT TO SCALE)

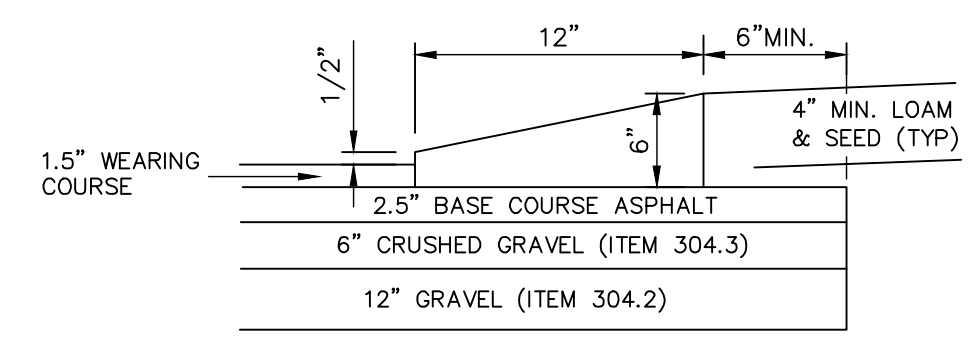
D-50 RIPRAP GRADATION POND DET POND 2 AREA		THICKNESS (D)
% OF PASSING	REQUIRED RIPRAP GRADATION FOR D50 SELECTED	
100	18" TO 24"	1.5x(D-50 MAX)
85	15.6" TO 21.6"	
50	12" TO 18"	
15	9.6" TO 15.6"	



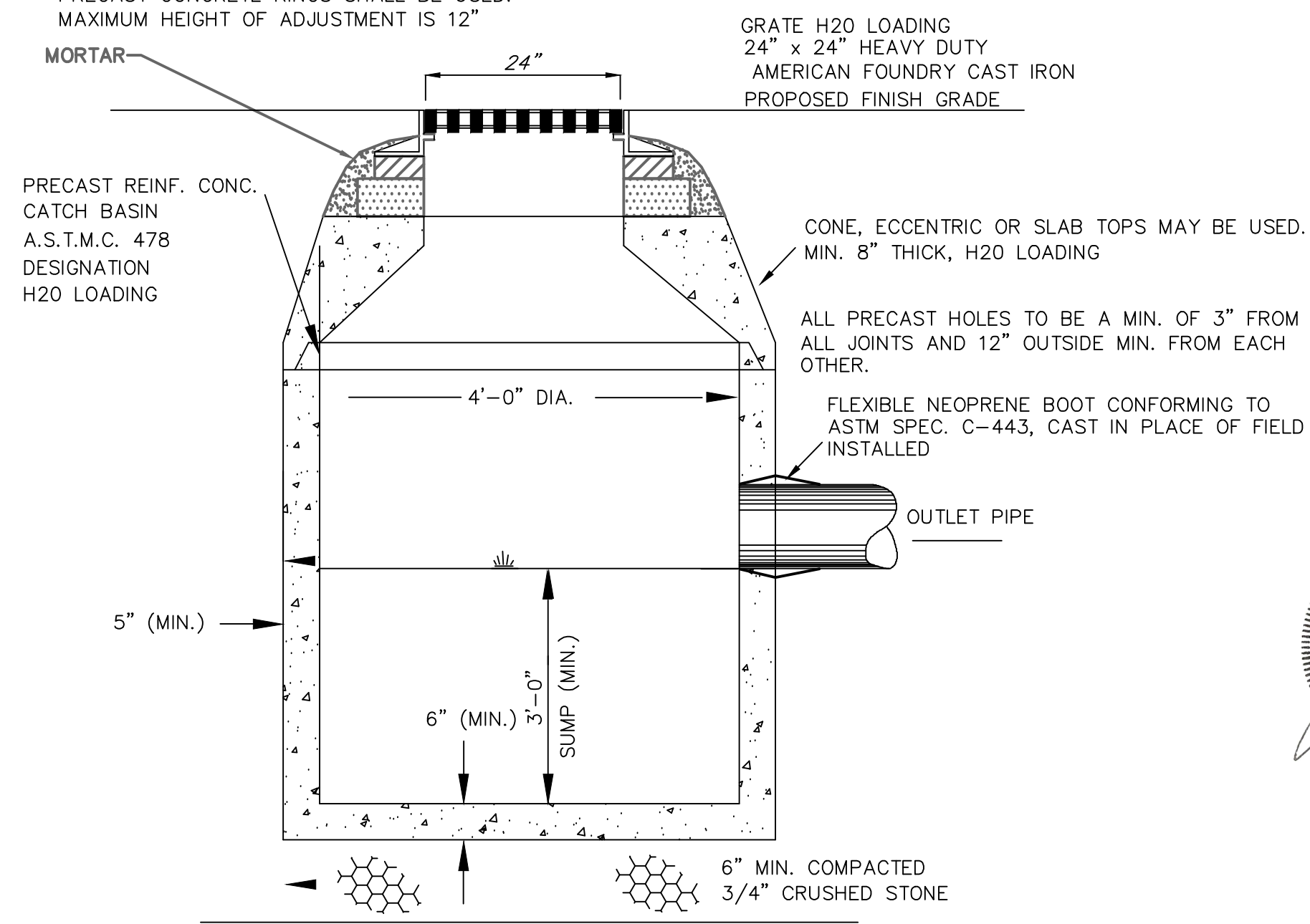
PART #	PIPE SIZE	A	B (MAX)	H	L
1210NP	12 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN
1510NP	15 IN	6.50 IN	10.00 IN	6.50 IN	25.00 IN
1810NP	18 IN	7.50 IN	15.00 IN	6.50 IN	32.00 IN
2410NP	24 IN	7.50 IN	18.00 IN	6.50 IN	36.00 IN
3015NP	30 IN	7.50 IN	12.00 IN	8.60 IN	58.00 IN
3615NP	36 IN	7.50 IN	25.00 IN	8.60 IN	58.00 IN



DESCRIPTION	LENGTH L	INVERT WIDTH Wi	END WIDTH We	STONE D50	DEPTH OF STONE- D
FES 1	12'	4.5'	13'	6"	1.5'
FES 2	19'	7.5'	21'	6"	1.5'
FES 3	16'	4.5'	14'	15"	2'
FES 4	16'	4.5'	18'	6"	1.5'
FES 5	16'	4.5'	18'	16"	2'
FES 6	16'	4.5'	18'	6"	1.5'

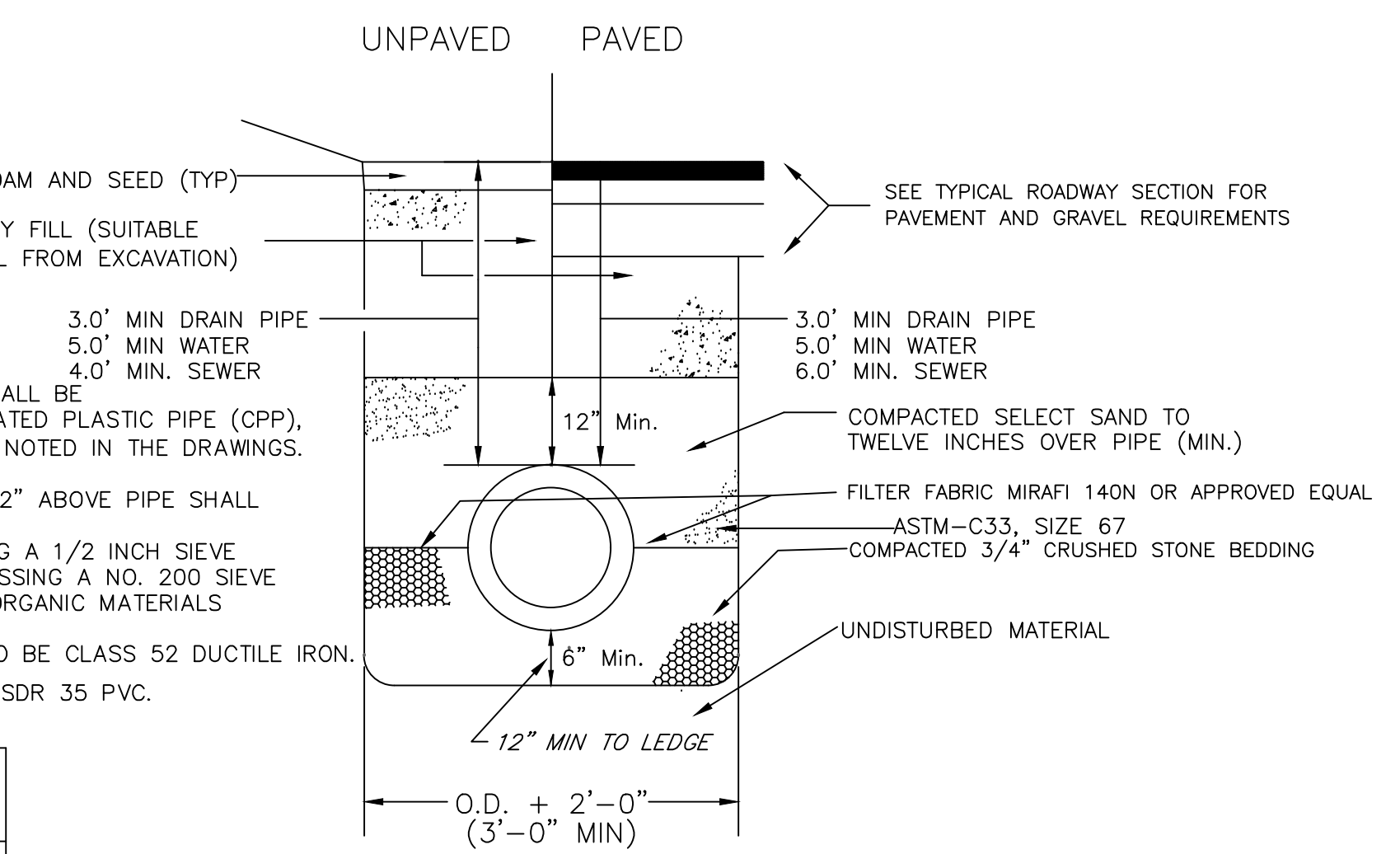
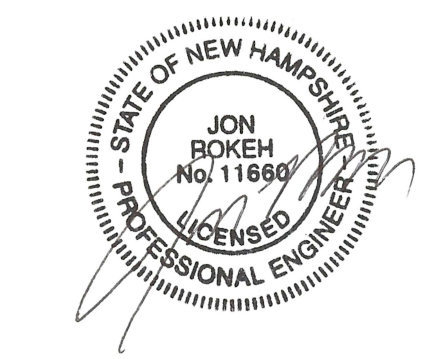


TYPICAL CAPE COD BERM
(NOT TO SCALE)



TYPICAL PRECAST CATCH BASIN DETAIL
(NOT TO SCALE)

- NOTES :**
- ALL DRAIN PIPE SHALL BE ADS N-12 CORRUGATED PLASTIC PIPE (CPP), UNLESS OTHERWISE NOTED IN THE DRAWINGS.
 - SELECT SAND TO 12" ABOVE PIPE SHALL BE AS FOLLOWS :
A. 100% PASSING A 1/2 INCH SIEVE
B. 15%(MAX) PASSING A NO. 200 SIEVE
C. FREE FROM ORGANIC MATERIALS
 - ALL WATER PIPE TO BE CLASS 52 DUCTILE IRON.
 - ALL SEWER TO BE SDR 35 PVC.



TYPICAL SEWER/ DRAIN PIPE TRENCH

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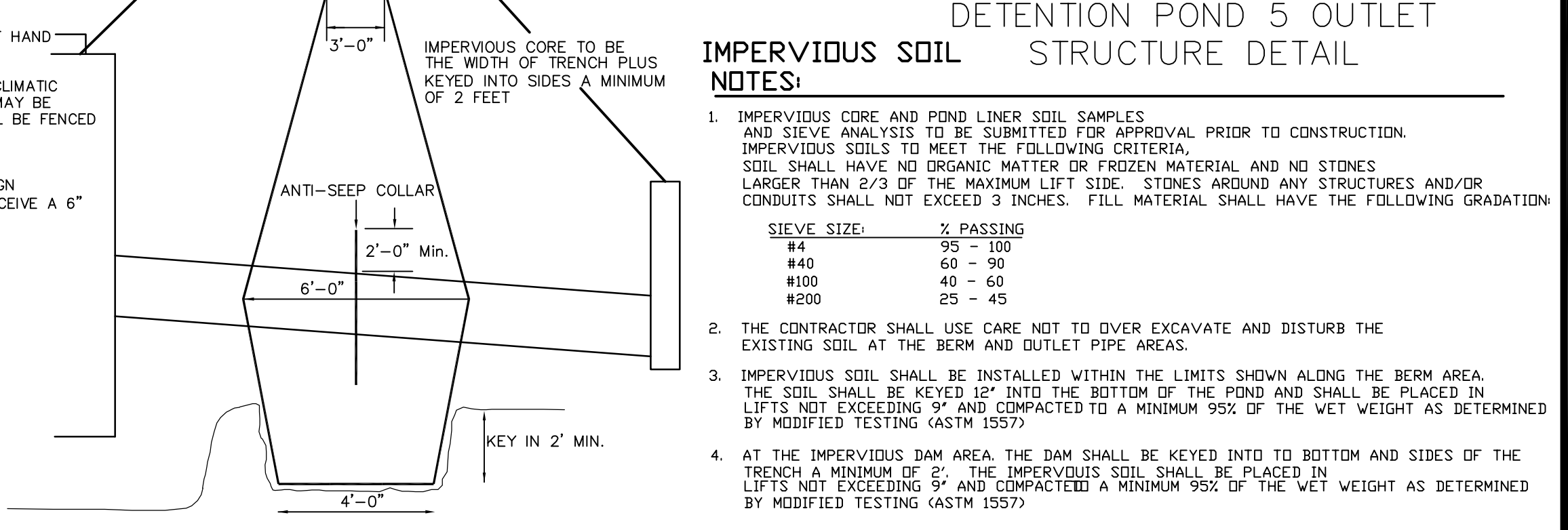
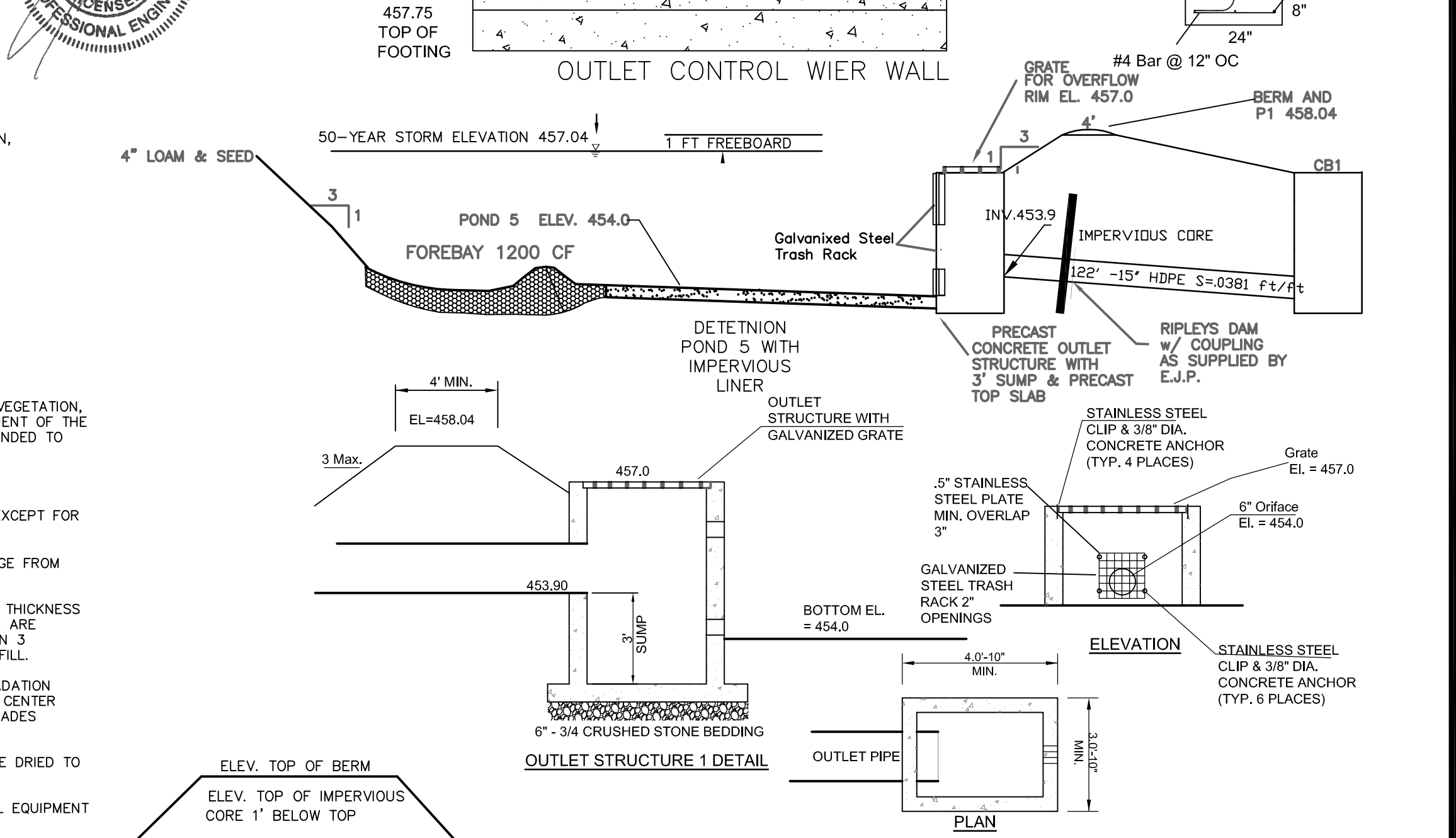
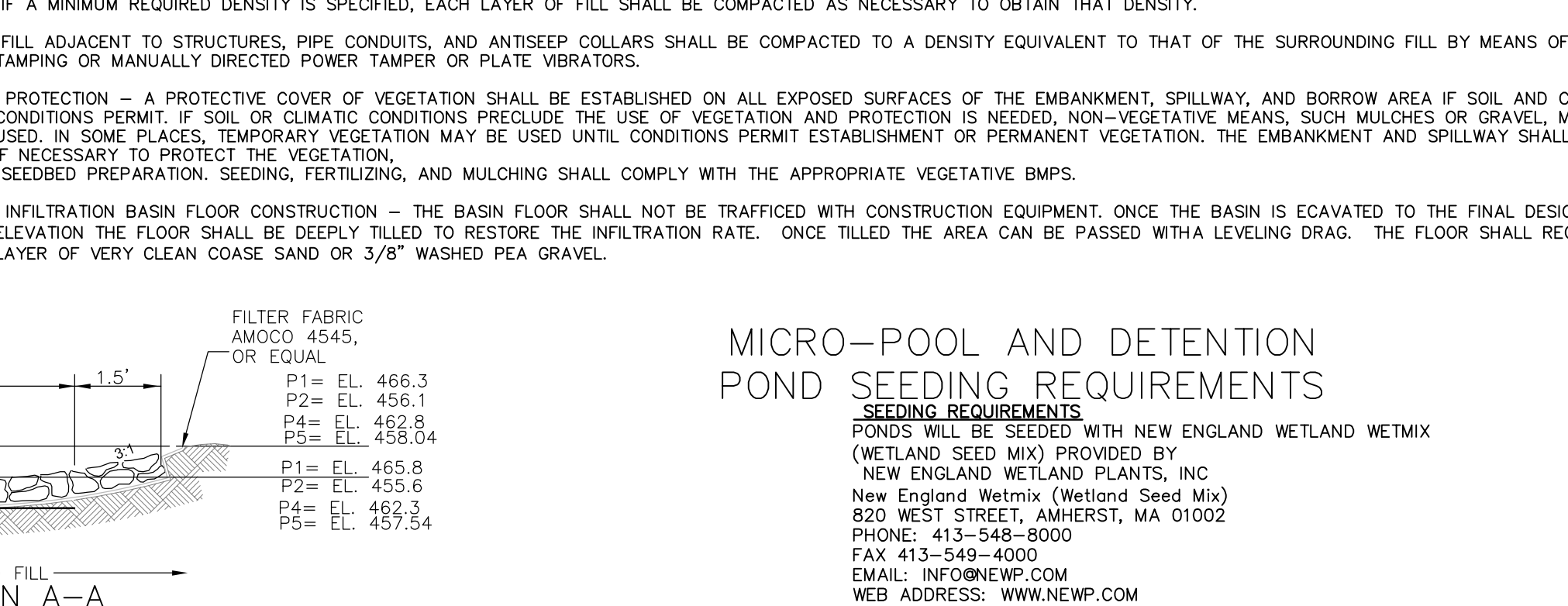
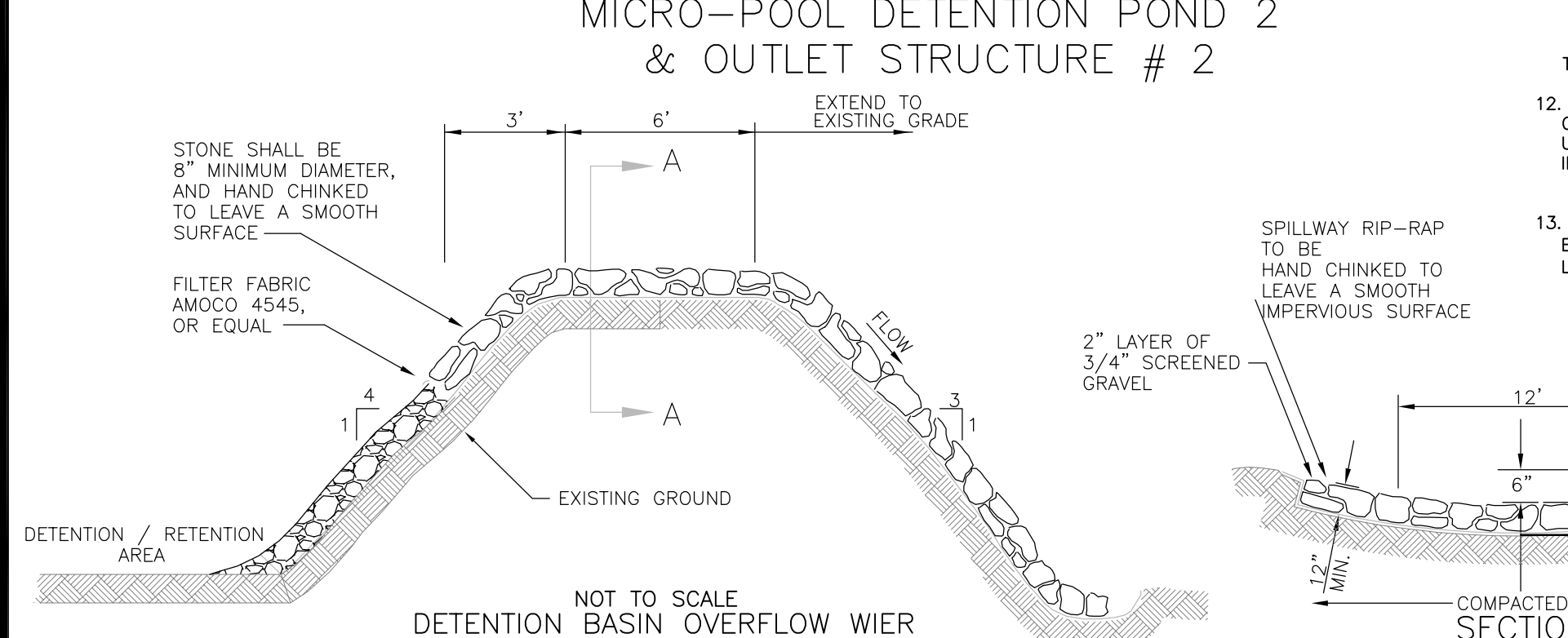
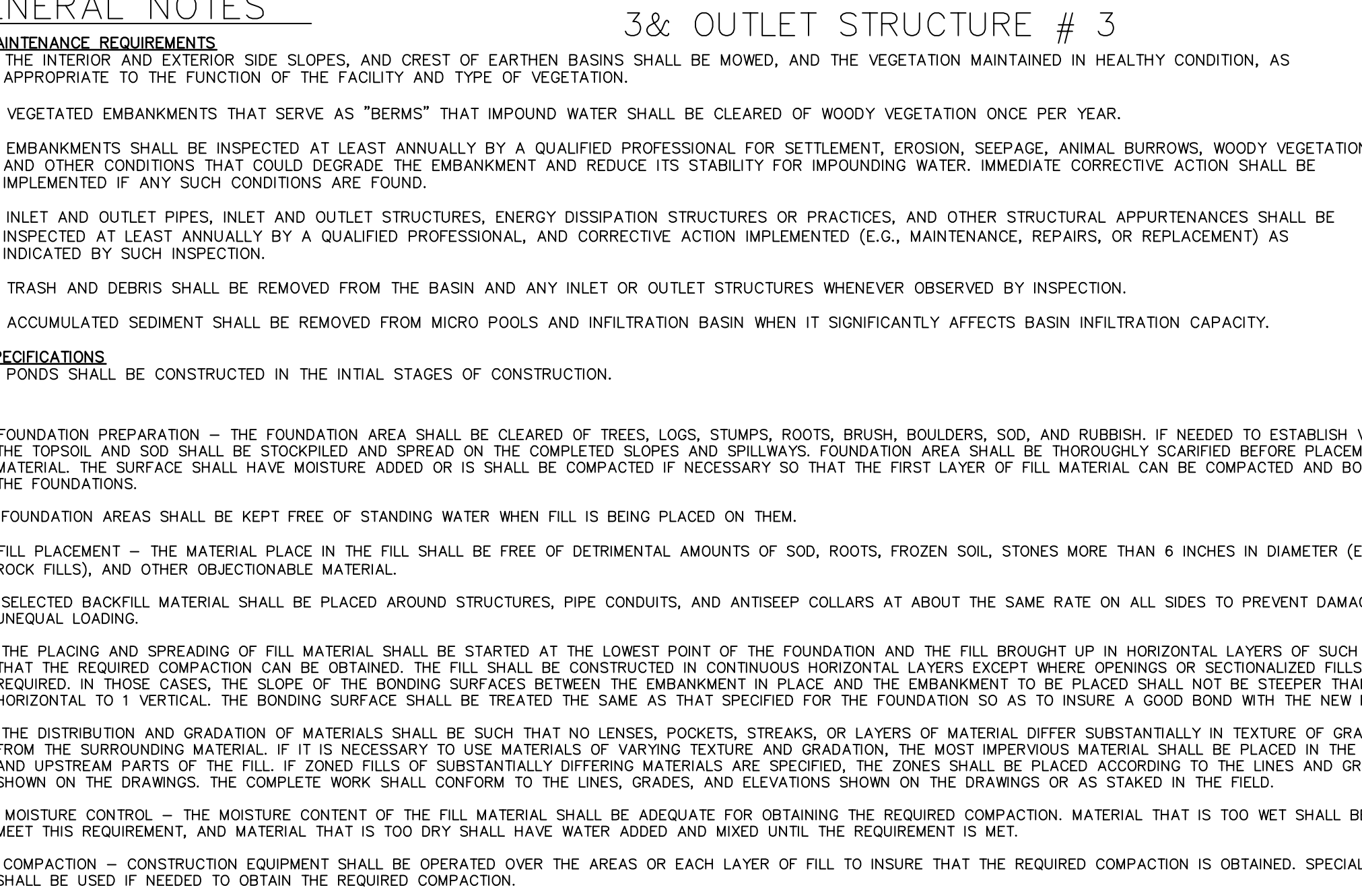
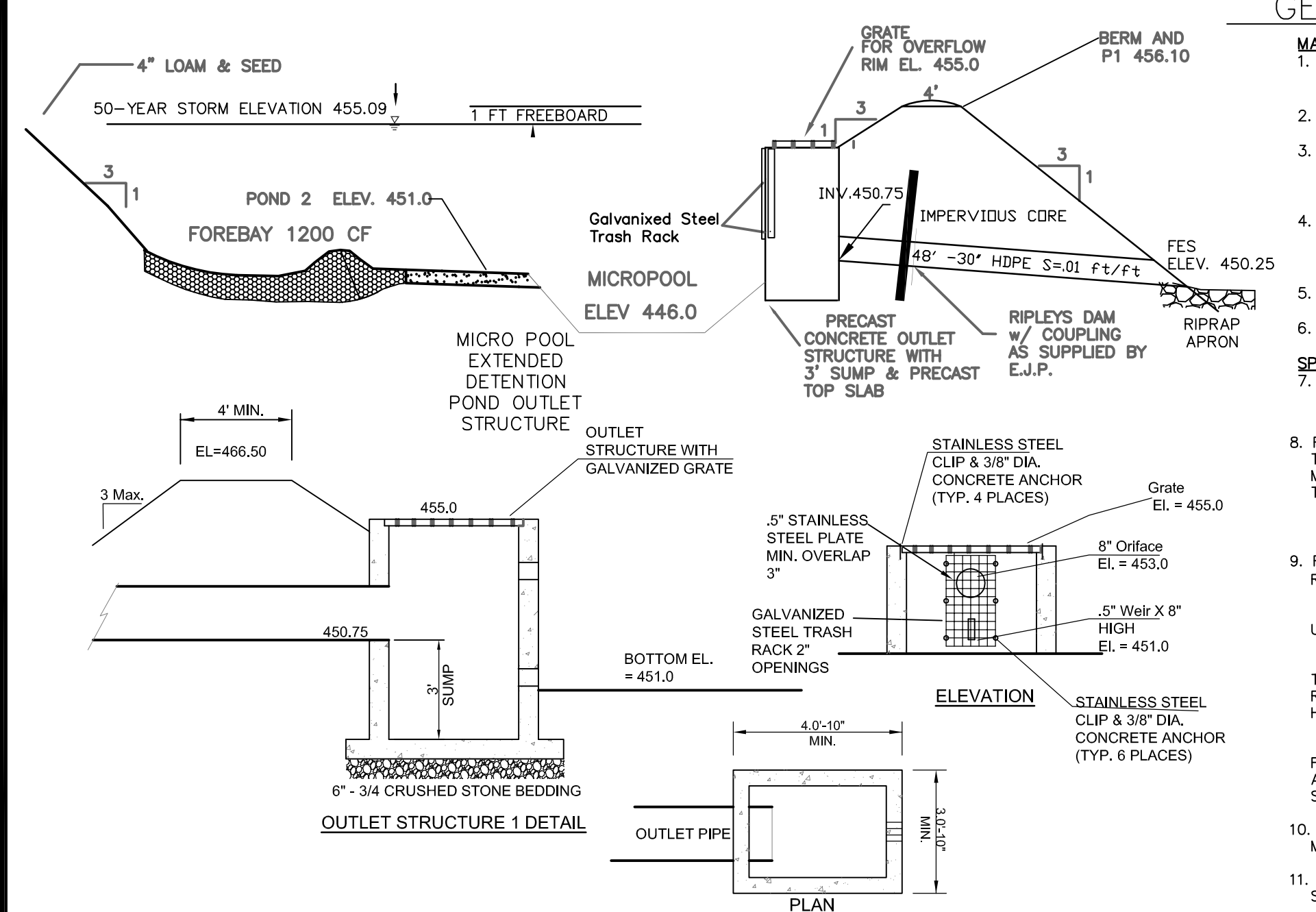
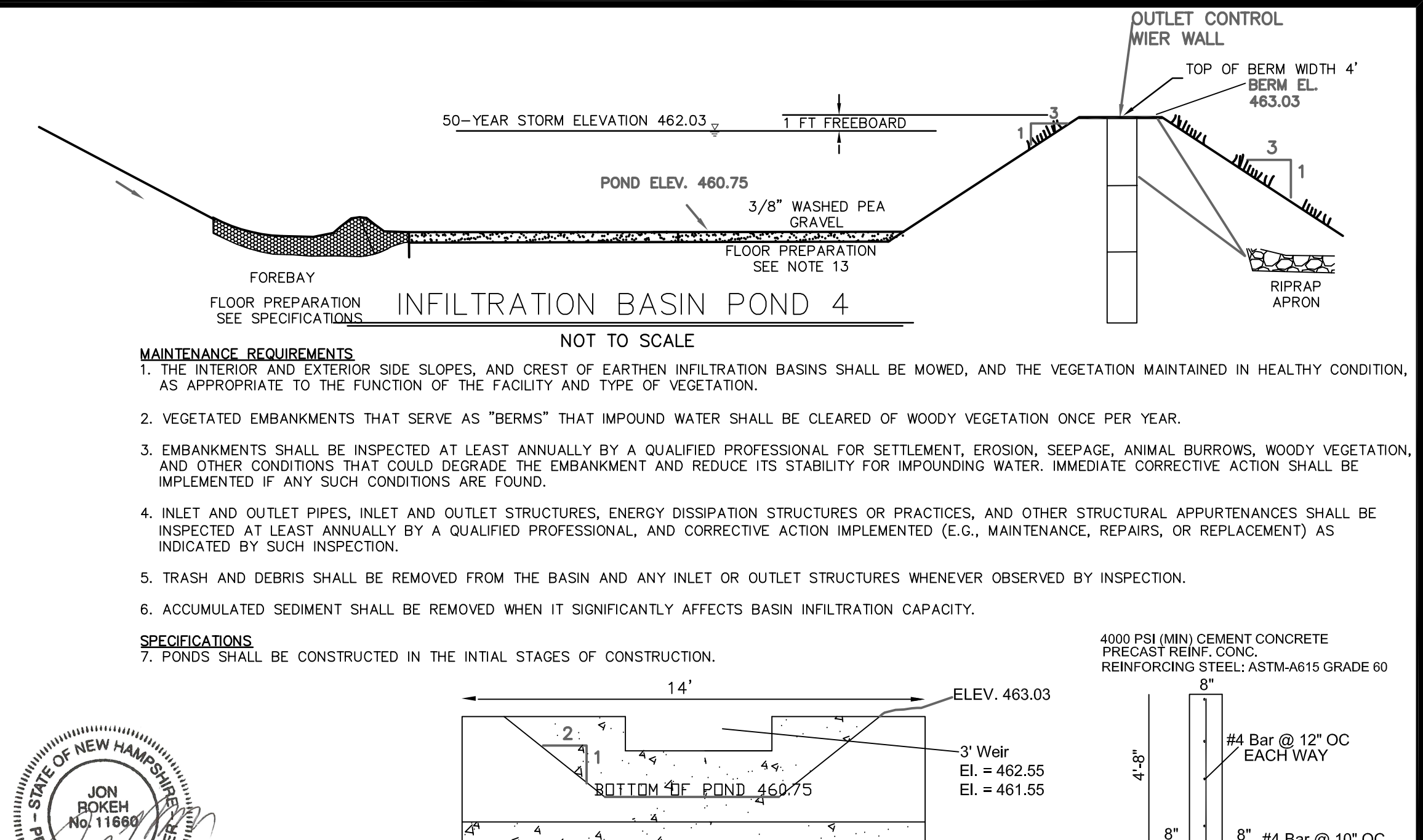
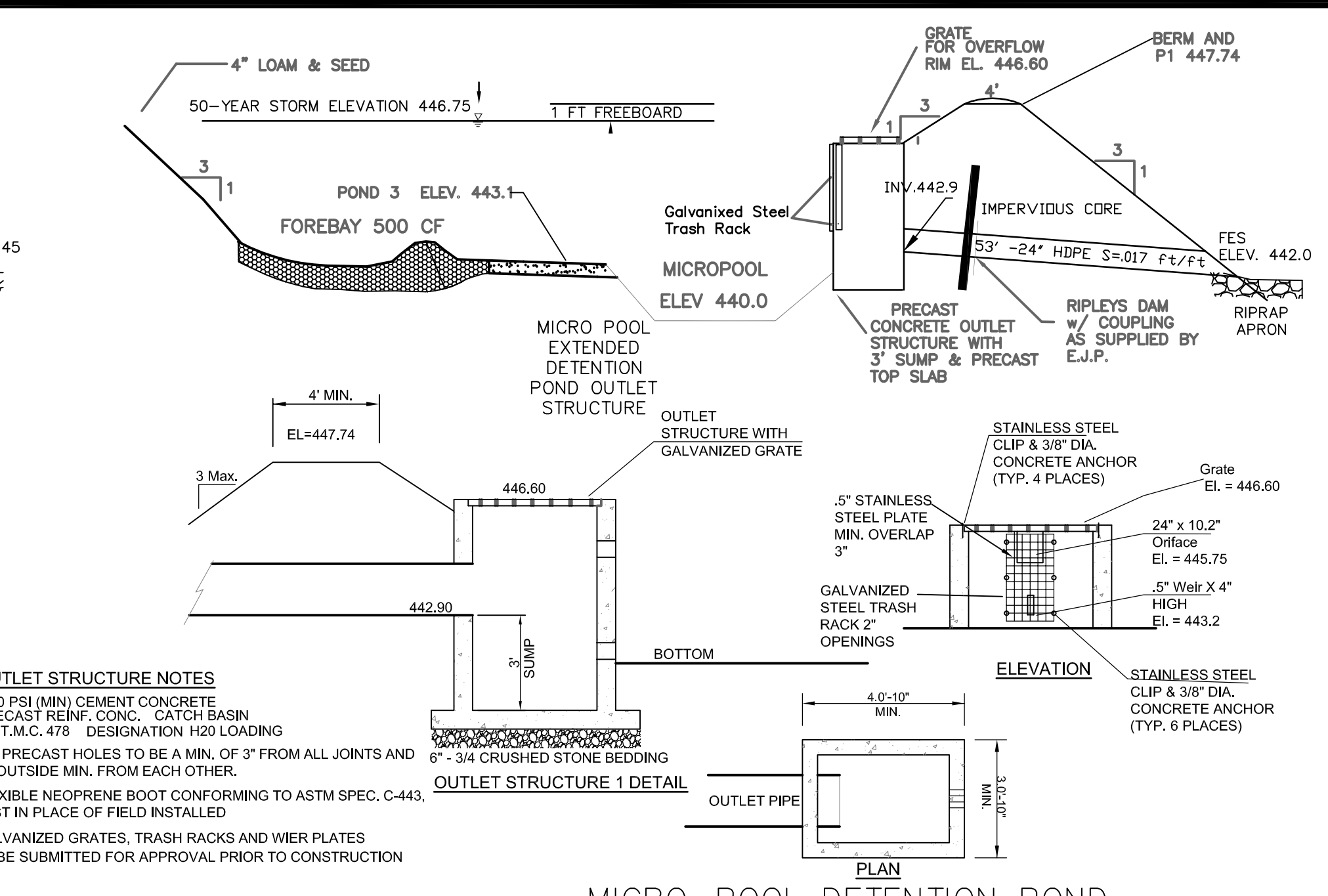
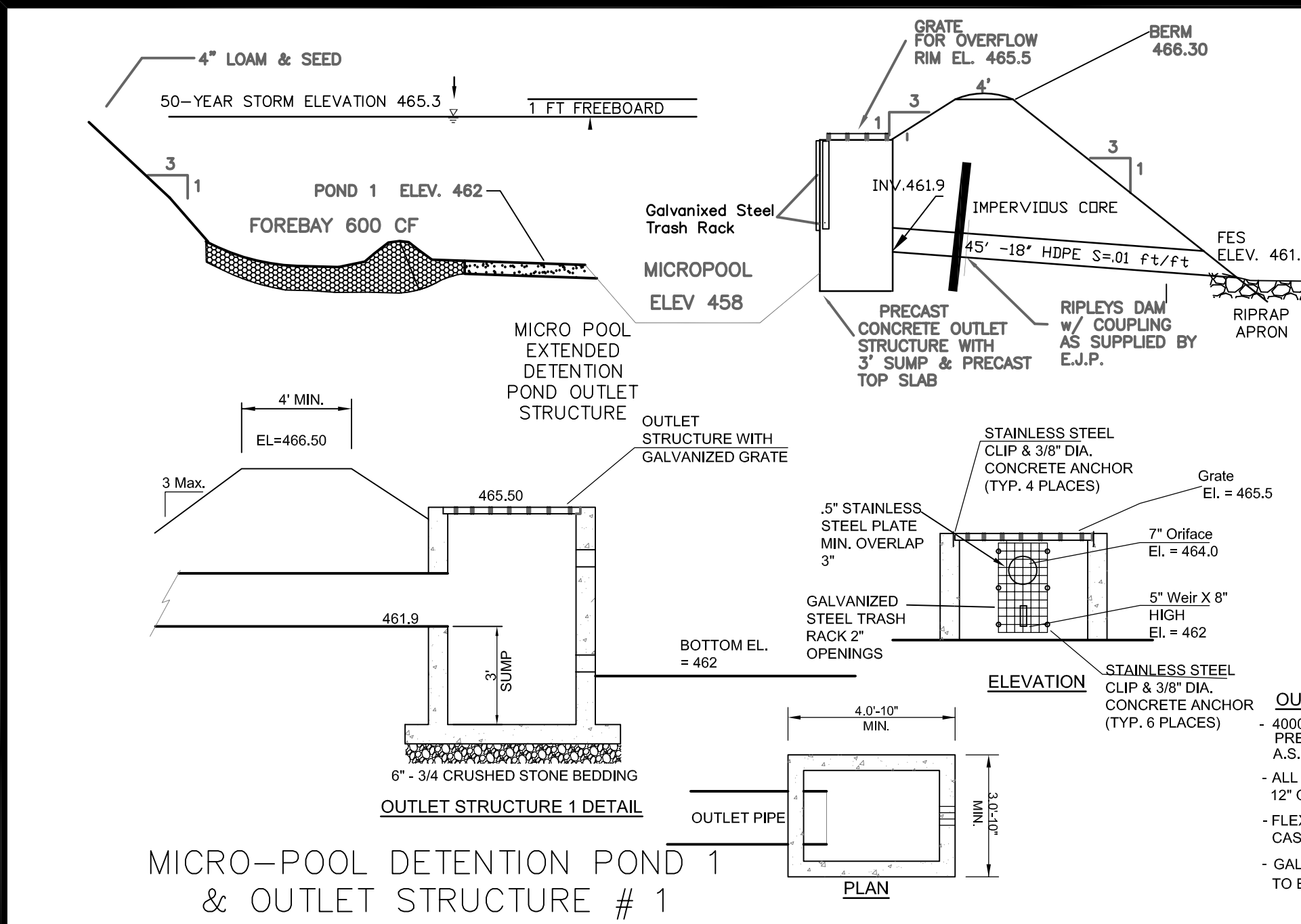
DETAILS
SITE PLAN
TAX PARCEL 4 LOT 150C & E
DOVER ROAD
CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

REVISIONS

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04/02/20	ADDRESS NH DOT AND TOWN COMMENTS	JR	JR

Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: NTS
DATE: OCTOBER 2, 2019
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 5 OF 10



GENERAL NOTES

MAINTENANCE REQUIREMENTS

1. THE INTERIOR AND EXTERIOR SIDE SLOPES, AND CREST OF EARTHEN BASINS SHALL BE MOWED, AND THE VEGETATION MAINTAINED IN HEALTHY CONDITION, AS APPROPRIATE TO THE FUNCTION OF THE FACILITY AND TYPE OF VEGETATION.
2. VEGETATED EMBANKMENTS THAT SERVE AS "BERMS" THAT IMPOUND WATER SHALL BE CLEARED OF WOODY VEGETATION ONCE PER YEAR.
3. EMBANKMENTS SHALL BE INSPECTED AT LEAST ANNUALLY BY A QUALIFIED PROFESSIONAL FOR SETTLEMENT, EROSION, SEEPAGE, ANIMAL BURROWS, WOODY VEGETATION, AND OTHER CONDITIONS THAT COULD DEGRADE THE EMBANKMENT AND REDUCE ITS STABILITY FOR IMPOUNDING WATER. IMMEDIATE CORRECTIVE ACTION SHALL BE IMPLEMENTED IF ANY SUCH CONDITIONS ARE FOUND.
4. INLET AND OUTLET PIPES, INLET AND OUTLET STRUCTURES, ENERGY DISSIPATION STRUCTURES OR PRACTICES, AND OTHER STRUCTURAL APPURTENANCES SHALL BE INSPECTED AT LEAST ANNUALLY BY A QUALIFIED PROFESSIONAL, AND CORRECTIVE ACTION IMPLEMENTED (E.G., MAINTENANCE, REPAIRS, OR REPLACEMENT) AS INDICATED BY SUCH INSPECTION.
5. TRASH AND DEBRIS SHALL BE REMOVED FROM THE BASIN AND ANY INLET OR OUTLET STRUCTURES WHENEVER OBSERVED BY INSPECTION.
6. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM MICRO POOLS AND INFILTRATION BASIN WHEN IT SIGNIFICANTLY AFFECTS BASIN INFILTRATION CAPACITY.

SPECIFICATIONS

7. PONDS SHALL BE CONSTRUCTED IN THE INITIAL STAGES OF CONSTRUCTION.

FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.

FILL PLACEMENT - THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.

SELECTED BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING.

THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL.

THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OF GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MOST IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.

10. MOISTURE CONTROL - THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.

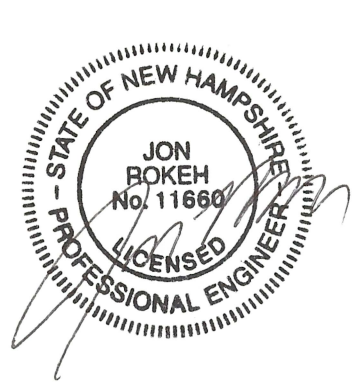
11. COMPACTION - CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION.

IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY.

FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS.

12. PROTECTION - A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH MULCHES OR GRAVEL, MAY BE USED IN SOME PLACES. TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION. SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMPs.

13. INFILTRATION BASIN FLOOR CONSTRUCTION - THE BASIN FLOOR SHALL NOT BE TRAFFICED WITH CONSTRUCTION EQUIPMENT. ONCE THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION THE FLOOR SHALL BE DEEPLY TILLED TO RESTORE THE INFILTRATION RATE. ONCE TILLED THE AREA CAN BE PASSED WITH A LEVELING DRAG. THE FLOOR SHALL RECEIVE A 6" LAYER OF VERY FINE COARSE SAND OR 3/8" WASHED PEA GRAVEL.



Developer
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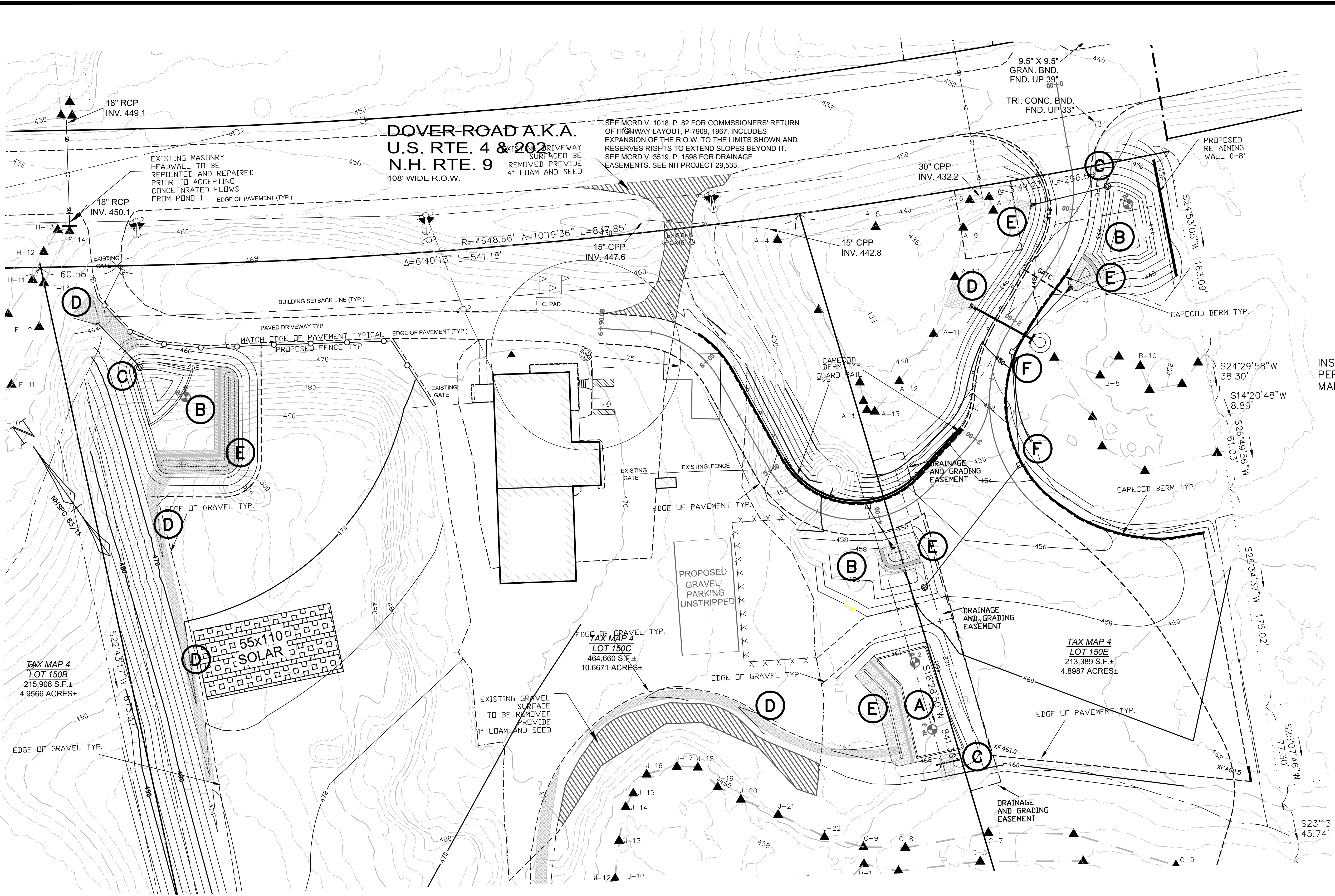
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**DOVER ROAD A.K.A.
U.S. RTE. 4 & 202
N.H. RTE. 9**
108' WIDE R.O.W.

SEE MCRD V. 1018, P. 82 FOR COMMISSIONERS' RETURN OF HIGHWAY LAYOUT, P-7909, 1967. INCLUDES EXPANSION OF THE R.O.W. TO THE LIMITS SHOWN AND RESERVES RIGHTS TO EXTEND SLOPES BEYOND IT. SEE MCRD V. 3519, P. 1598 FOR DRAINAGE EASEMENTS. SEE NH PROJECT 29,533.

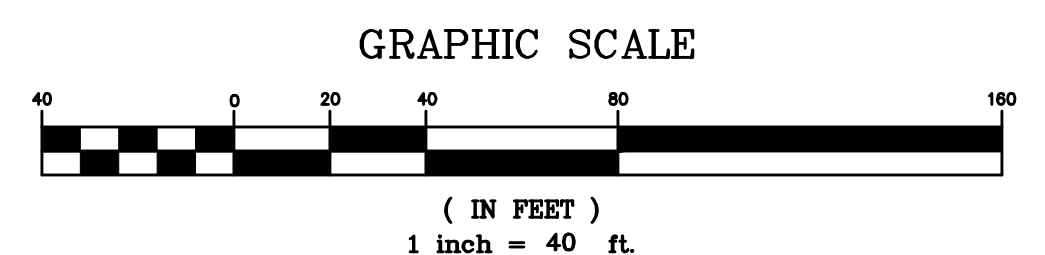
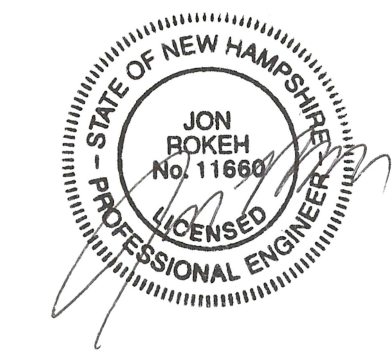
SYMBOL LEGEND

- IRON PIPE FOUND
- DRILL HOLE
- ⊙ LIGHT POLE
- ⊕ UTILITY POLE
- ⊗ WELL
- ▲ WETLAND FLAG
- ⊙ SSS MAP SYMBOL
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NOTES

INSPECTION AND MAINTENANCE TO BE PERFORMED PER THE MOST CURRENT INSPECTION AND MAINTENANCE MANUAL ON FILE WITH THE TOWN OF CHICHESTER

- (A)** INFILTRATION POND
- (B)** DETENTION POND
- (C)** OUTLET STRUCTURE
- (D)** ROCK RIP RAP CONTROL
- (E)** FOREBAY
- (F)** DEEP SUMP CATCH BASIN



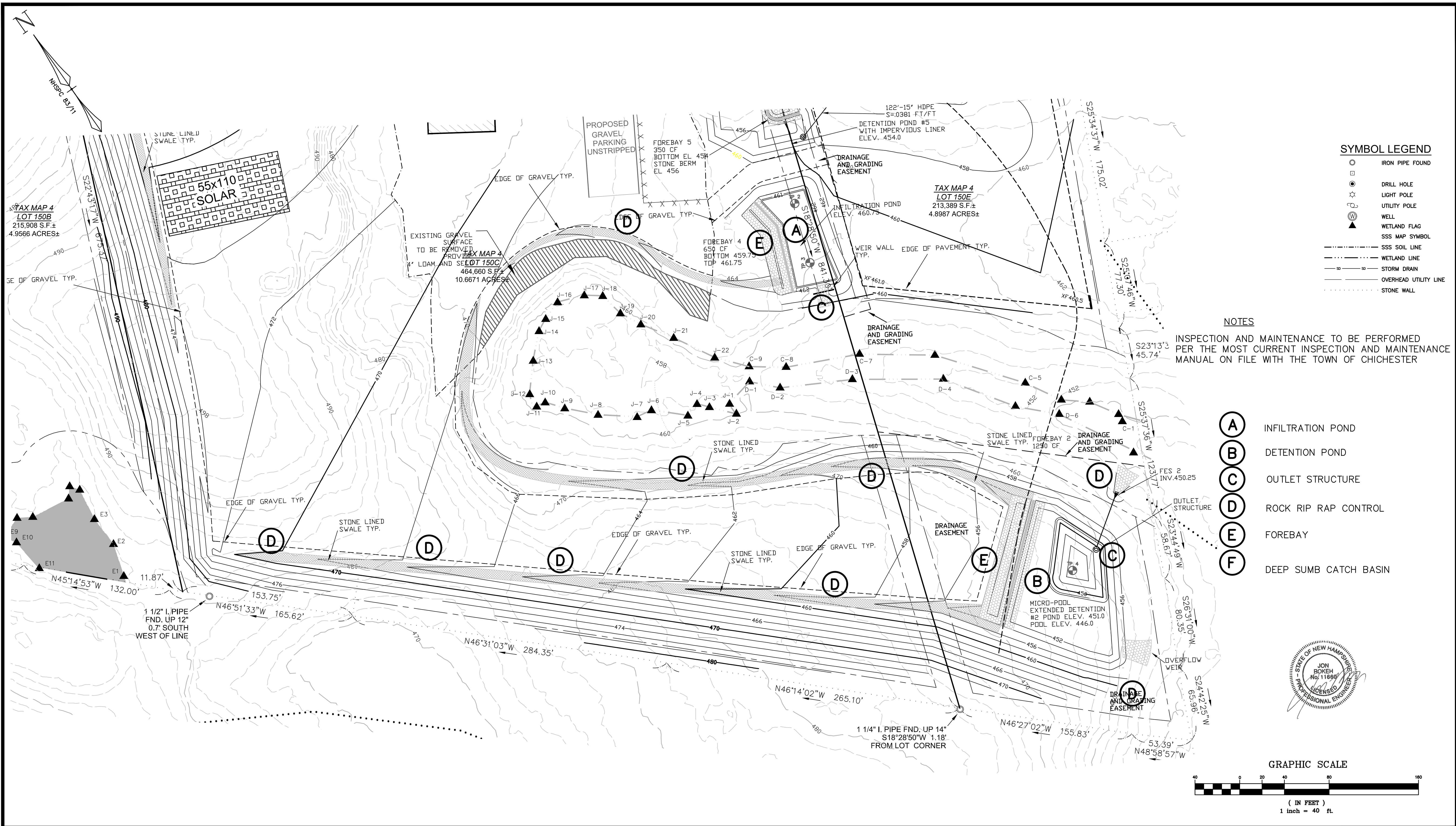
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OPERATION AND MAINTENANCE PLAN
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TAX PARCEL 4 LOT 150C & E
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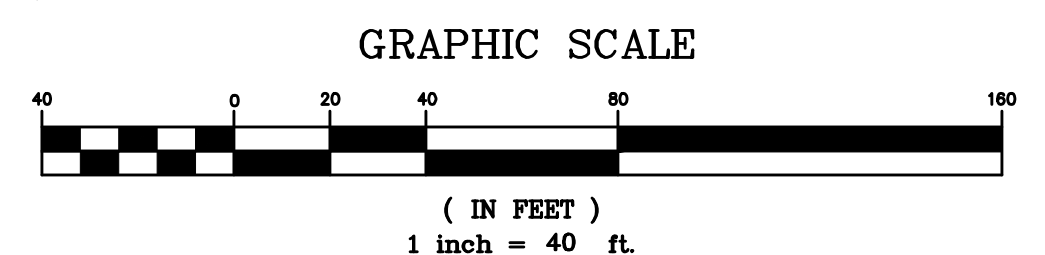
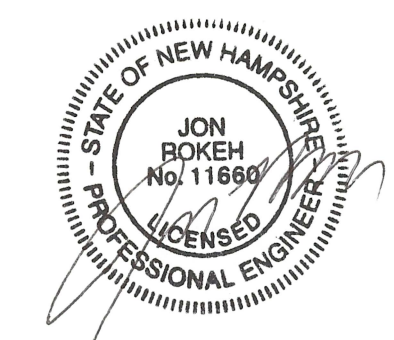


SYMBOL LEGEND

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DATE	DESCRIPTION	DWN BY	CK BY

Rokeh Consulting, LLC
 89 KING ROAD, CHICHESTER, NH
 PH: 603-387-8688

SCALE: 1" = 40"
 DATE: OCTOBER 2, 2019
 DR. BY: JR CK. BY: JR
 JOB NO. _____
 SHEET NO. 10 OF 10

Final: 11-7-2019

CHICHESTER PLANNING BOARD
SITE PLAN REVIEW APPLICATION

Owner of Record: CHICHESTER COMMONS^{LLC} Map Number: 4 Lot Number: 161A, 161

Address: 114-114A DOVER RD, CHICHESTER, NH

Daytime Phone Number: 738-9004 Evening Phone Number: 224-9010

Prepared by: JONATHAN HALLE / WARREN STREET ARCHITECTS

Address: 142 W. PARISH RD CONCORD, NH 03303

Daytime Phone Number: 225-0640 Evening Phone Number: 224-9010

1. Road Location: RT 4

2. Property Located in the CV-COMM-VILLAGE zone.

3. Land is in open space (current use): _____ YES; NO

4. Area of entire tract: 3.532 (acres) BOTH PARCELS 5.549 AC.

Portion to be utilized: _____ (acres or square feet)

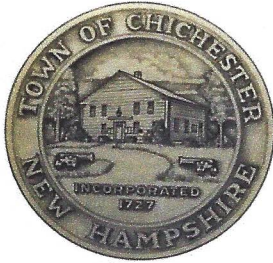
5. Describe planned use:

AMEND PREVIOUS PLANNING BOARD APPROVAL FOR
14 UNIT (11-ONE BEDROOM AND 3-TWO BEDROOM) PROJECT TO
REDUCE TO 13 UNIT (9-ONE BEDROOM AND 4-TWO BEDROOM)
TOTAL BEDROOM COUNT OF 17 TO REMAIN SAME.

The applicant agrees that he/she is familiar with the Site Plan Regulations of the Town of Chichester and the Laws of the State of New Hampshire governing site plan review, and in making this application, has complied with the same.

Jonathan Halle
Property Owner or Applicant

03-14-2020
Date



Town of Chichester

Office of the Planning Board
54 Main Street
Chichester, New Hampshire 03258
(603) 798-5350 Fax (603) 798-3170

Permission to Inspect

I, JONATHAN HALLE, property owner of Map 9, Lot 161A, 161
on 114-114A DOVER RD, in the town of Chichester, NH do hereby grant my
permission for the Town Engineer to inspect site improvements or plans when the Chichester
Planning Board requests.

I understand that all cost of the employment of said engineer for inspection(s), test(s) or
review shall be paid by me; prepaid in an escrow account held and managed by the Town
Treasurer. Such funds shall be expended upon final billing by said engineer and any remaining
funds to include earned interest shall be returned to me.

Jonathan Halle
Signature Owner of Record

03-14-2020
Date

Witness

Date

CHECKLIST - SITE PLAN REVIEW

In cases where not all items are applicable, draw a line through the items which are not applicable.

CHICHESTER HOUSING

APPLICABLE (Y/N)	INCLUDED (Y/N)	INITIALS	
<u>Y</u>	<u>Y</u>	<u>JH</u>	1. Three copies of the completed application and checklist
<u>Y</u>	<u>Y</u>	<u>JH</u>	2. Site plan: 22" by 34" sheet size maximum, scale not less than 1" = 100', match lines where needed, boundaries, water courses & bodies of water, trees and other vegetation, topography at 2' intervals to USGS datum, existing and proposed contours and finished grade elevations and other pertinent features, date, title, graphic scale, north arrow, location map, name & address of developer/applicant, designer/engineer, owner of record.
<u>Y</u>	<u>Y</u>	<u>JH</u>	3. List of names and addresses of abutters and owners of land within 200' of any property line. (YOU MAY NOT ABUT YOURSELF)
<u>Y</u>	<u>Y</u>	<u>JH</u>	4. The appropriate fee
<u>Y</u>	<u>Y</u>	<u>JH</u>	5. Plan of all buildings depicting their type, size, and location (setbacks)
<u>Y</u>	<u>Y</u>	<u>JH</u>	6. An elevation view or photo of all buildings
<u>Y</u>	<u>Y</u>	<u>JH</u>	7. Layout of off-street parking and loading
<u>Y</u>	<u>Y</u>	<u>JH</u>	8. Ingress-egress of site and depiction of streets both within and adjacent to site
<u>Y</u>	<u>Y</u>	<u>JH</u>	9. Solid waste disposal facilities
<u>Y</u>	<u>Y</u>	<u>JH</u>	10. Location, size, and design of signs and advertising or instructional devices
<u>Y</u>	<u>Y</u>	<u>JH</u>	11. Location, type, direction, and illuminated area of outside lighting
<u>Y</u>	<u>Y</u>	<u>JH</u>	12. Other required exhibits or data, any permits specific to site.
<u>Y</u>	<u>Y</u>	<u>JH</u>	13. Permanent first floor elevation of proposed buildings

CHECKLIST - SITE PLAN REVIEW – CONTINUED

- | | | | |
|-----------|-----------|-----------|---|
| <u>Y</u> | <u>Y</u> | <u>JH</u> | 14. Existing water supply and sewage disposal facilities on the site and within 200' of the site, proposed water and sewage facilities, and provisions for expansion of water and sewage facilities |
| <u>Y</u> | <u>Y</u> | <u>JH</u> | 15. Location, elevation, and layout of surface drainage facilities |
| <u>Y</u> | <u>Y</u> | <u>JH</u> | 16. Existing and proposed landscaping and open space areas and treatment |
| <u>Y</u> | <u>Y</u> | <u>JH</u> | 17. Gas, electric, telephone, CATV utility lines |
| <u>Y</u> | <u>Y</u> | <u>JH</u> | 18. Boundary survey shown |
| <u>Y</u> | <u>Y</u> | <u>JH</u> | 19. Description or depiction of proposed grading, filling, or other site preparation |
| <u>Y</u> | <u>Y</u> | <u>JH</u> | 20. Existing and proposed buffers |
| <u>Y</u> | <u>Y</u> | <u>JH</u> | 21. Existing and proposed screening |
| <u>Y</u> | <u>Y</u> | <u>JH</u> | 22. Sidewalks, access, loading & parking |
| <u>Y</u> | <u>Y</u> | <u>JH</u> | 23. Erosion and sedimentation control plan |
| <u>N</u> | <u>N</u> | <u>JH</u> | 24. Flood plain areas |
| <u> </u> | <u> </u> | <u> </u> | 25. Town Engineer authorization |
| <u>Y</u> | <u>Y</u> | <u>JH</u> | 26. Wetlands Setbacks. |

CHICHESTER HOUSING

114A DOVER ROAD
CHICHESTER, NH 03258

CHICHESTER HOUSING, LLC

SPONSOR: RISE AGAIN C/O: LORI & JONATHAN HALLE
142 W. PARISH ROAD
CONCORD, NH 03303
P. (603) 738-9004

HUTTER CONSTRUCTION, CORP.

PROJECT MANAGER: DAVE LAGE
PO BOX 257, RT. 124
NEW IPSWICH, NH 03071
P. (603) 878-2300

WARRENSTREET ARCHITECTS, INC.

ATTN: JONATHAN HALLE, AIA
PLANNERS, ARCHITECTS, LANDSCAPE ARCHITECTS, INTERIOR DESIGNERS
27 WARREN STREET, CONCORD, NH 03301
P. (603) 225-0640



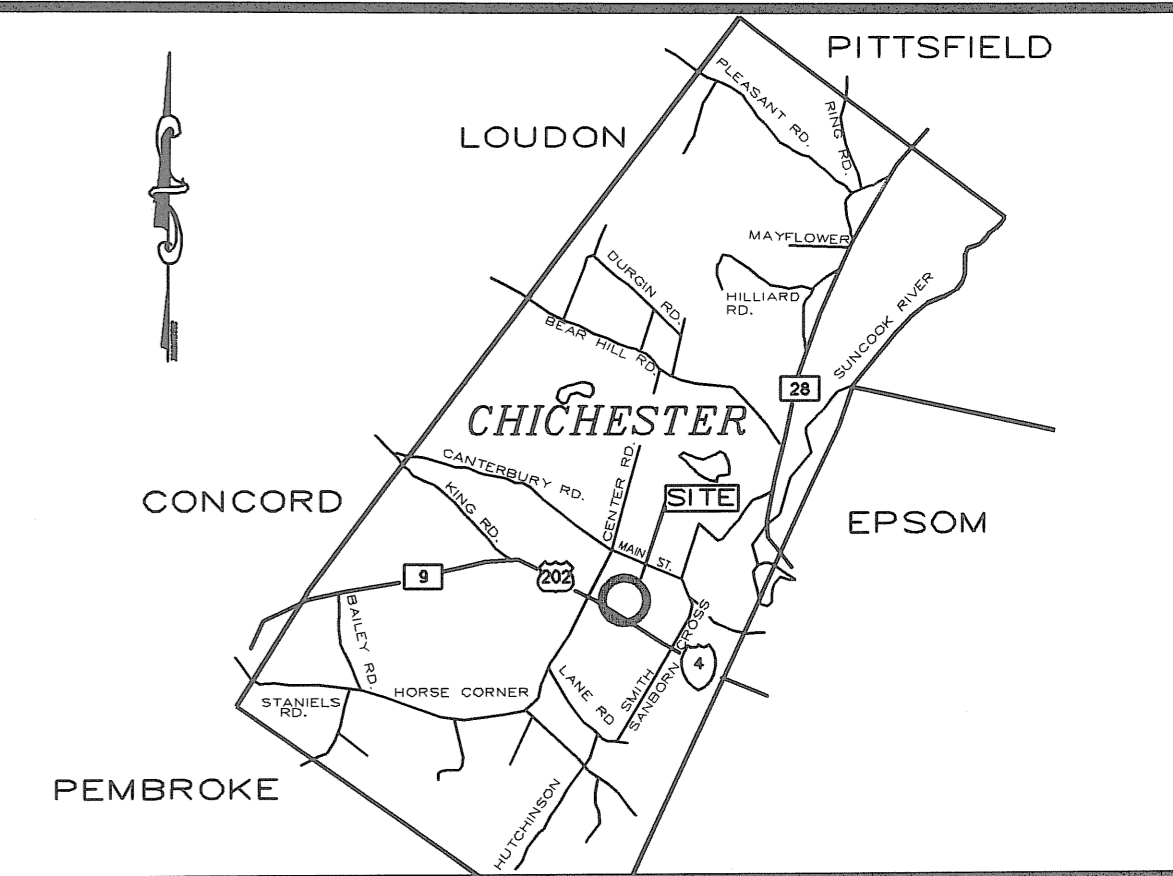
CIVIL	SURVEY	ARCHITECTURE	STRUCTURAL	MECHANICAL/PLUMBING	ELECTRICAL	OTHER	PROJECT:																		
BEDFORD DESIGN CONSULTANTS 177 EAST INDUSTRIAL PARK DR. MANCHESTER, NH 03109 P. (603) 622-5533	RICHARD D. BARTLETT & ASSOCIATES 214 N. STATE ST. CONCORD NH, 03301 P. (603) 225-6770	WARRENSTREET ARCHITECTS, INC. 27 WARREN STREET CONCORD, NH 03301 P. (603) 225-0640 F. (603) 225-0621	TF MORAN, INC. 48 CONSTITUTION DRIVE BEDFORD, NH 03110 P. (603) 472-4488	DESIGN DAY MECHANICALS, INC. PO BOX 447 NEW IPSWICH, NH 03071 P. (603) 269-7253	SWIFTCURRENT ENGINEERING 10 FOREST FALLS DRIVE, #4B YARMOUTH, ME 04096 P. (207) 847-9280	NHHFA CONSTRUCTION STANDARDS 2020 BY REFERENCE - SEE SPECIFICATIONS	CHICHESTER HOUSING PROJECT NUMBER: 3393																		
CONDOMINIUM SUBDIVISION / SITE PLAN EXISTING CONDITION PLAT CONDOMINIUM SUBDIVISION / SITE PLAN GRADING PLAN UTILITY PLAN NHDOT CURBOUT PLAN INDIVIDUAL SEWERAGE SYSTEM SEPTIC PLAN LANDSCAPE PLAN CONSTRUCTION DETAILS CONSTRUCTION DETAILS CONSTRUCTION DETAILS CONSTRUCTION DETAILS NOTE: (4) SITE LIGHTS SHOWN ON CIVIL DRAWING 315, POLE BASE SHOWN 11/15 AND 'P' FIXTURE CALLED OUT ON E201	1 EXISTING CONDITIONS PLAT Located in Civil Set)	CONSTRUCTION NOTES, LOCUS PLAN & CONSTRUCTION SIGN ADA, CONVERSIONS, SYMBOLS, SIGNAGE & ABBREVIATIONS CODE REVIEW CODE PLANS & COMPLIANCE LETTERS KEY/SITE PLAN FIRST FLOOR PLAN SECOND FLOOR PLAN BASEMENT FLOOR PLAN ATTIC FLOOR PLAN UNIT TYPE A TYPICALS UNIT TYPE B TYPICALS UNIT TYPE C TYPICALS ENLARGED PLANS, INTERIOR ELEVATIONS, CASEWORK DETAILS, & ACCESSORIES LEGEND FINISH DIAGRAM PLANS FIRST FLOOR REFLECTED CEILING PLAN SECOND FLOOR REFLECTED CEILING PLAN ROOF PLAN EXTERIOR ELEVATIONS BUILDING SECTIONS BUILDING SECTIONS VERTICAL CIRCULATION SECTIONS & DETAILS & WALL SECTIONS WALL SECTIONS PARTITION TYPES DOOR SCHEDULE, ELEVATIONS & DETAILS WINDOW SCHEDULE, ELEVATIONS & DETAILS & INT. DOOR DETAILS	A001 GENERAL STRUCTURAL NOTES A002 GENERAL STRUCTURAL NOTES CONT. A003 FOUNDATION PLAN A004 SECOND FLOOR FRAMING PLAN A100 ROOF FRAMING PLAN A101 TYPICAL FOUNDATION DETAILS A102 TYPICAL FOUNDATION DETAILS A103 FOUNDATION DETAILS A104 TYPICAL FRAMING DETAILS A111 TYPICAL FRAMING DETAILS A112 FRAMING DETAILS A113 TYPICAL ROOF FRAMING DETAILS A114 ROOF FRAMING DETAILS A131 A141 A142 A151 A201 A301 A302 A311 A321 A601 A602 A603	S001 HVAC BASEMENT & FIRST FLOOR PLAN HVAC 2ND FLOOR & ATTIC PLAN S002 HVAC COMMON AREA S101 HVAC ENLARGED APRTMENT PLAN S102 HVAC DETAILS AND LEGENDS S103 HVAC SCHEDULES S104 HVAC SPECIFICATIONS S201 PLUMBING FB/SMT & 1ST FLOOR PLAN S202 PLUMBING 2ND FLOOR & ATTIC PLAN S203 DOMESTIC WATER BSMT & FIRST FLOOR PLAN S301 DOMESTIC WATER 2ND FLOOR & ATTIC PLAN S302 PLUMBING SCHEDULES S303 PLUMBING SPECIFICATIONS S401 S402 NOTE: RADON PIPING SHOWN ON A103	M101 ELECTRICAL GENERAL NOTES & LEGEND M102 ELECTRICAL POWER & SYSTEMS PLAN - BASEMENT & FIRST FLOOR M103 ELECTRICAL POWER & SYSTEMS PLAN - SECOND FLOOR & ROOF M104 ELECTRICAL PANEL SCHEDULES & ONE-LINE DIAGRAM M105 HVAC SCHEDULES M106 ELECTRICAL LIGHTING PLAN - BASEMENT, FIRST & SECOND FLOOR M107 ELECTRICAL LIGHTING SCHEDULE P101 ELECTRICAL FIRE ALARM PLAN - BASEMENT, FIRST & SECOND FLOOR P102 ELECTRICAL FIRE ALARM RISER DIAGRAM P103 ELECTRICAL FIRE ALARM PLAN - BASEMENT, FIRST & SECOND FLOOR P104 P105 P106 NOTE: (4) SITE LIGHTS SHOWN ON CIVIL DRAWING 315, POLE BASE SHOWN 11/15 AND 'P' FIXTURE CALLED OUT ON E201	E000 BY REFERENCE - SEE SPECIFICATIONS E100 E101 E102 E200 E201 E300 E301 E400	ISSUE: ISSUED FOR CONSTRUCTION ISSUE DATE: 02/14/2020 REVISIONS: <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>COMMENTS</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	REV	DATE	COMMENTS															
REV	DATE	COMMENTS																							
WAIVER REQUESTS NOTE: THIS PROJECT IS FUNDED THRU NH HOUSING FINANCE AUTHORITY, FEDERAL HOME LOAN BANK OF BOSTON AND LITCH FEDERAL TAX CREDITS AND ARE GOVERNED BY CONSTRUCTION GUIDELINES FOUND IN THE SPECIFICATIONS 1. LIQUIDATED DAMAGES OF \$500/DAY - CM CONTRACT 2. ENERGY STAR MODELING - DESIGN 3. BORINGS AND GEOTECH REPORT - DESIGN 4. ENERGY STAR CERTIFICATION AND BLOWER DOOR TEST - POST CONSTRUCTION 5. 48" PT PLYWOOD AT BASE ALL EXTERIOR WALLS				ALTERNATES 1. PROVIDE PRICING FOR THE DELETION OF (1) ONE BEDROOM APARTMENT UNIT 107 AND CONVERSION OF UNIT 105 TO A TWO BEDROOM UNIT. TOTAL OF (13) UNITS VS. (14) 2. ALTERNATE MANUFACTURERS WILL BE REVIEWED AT TIME OF CONTRACT ONLY				ARCHITECT OF RECORD 																	
ALLOWANCES 1. GC TO CARRY CONSTRUCTION CONCRETE AND SOILS TESTING ALLOWANCE OF \$5,000.00 2. GC TO CARRY CONSTRUCTION SPECIAL INSPECTIONS ALLOWANCE OF \$5,000.00																									

CHICHESTER COMMONS

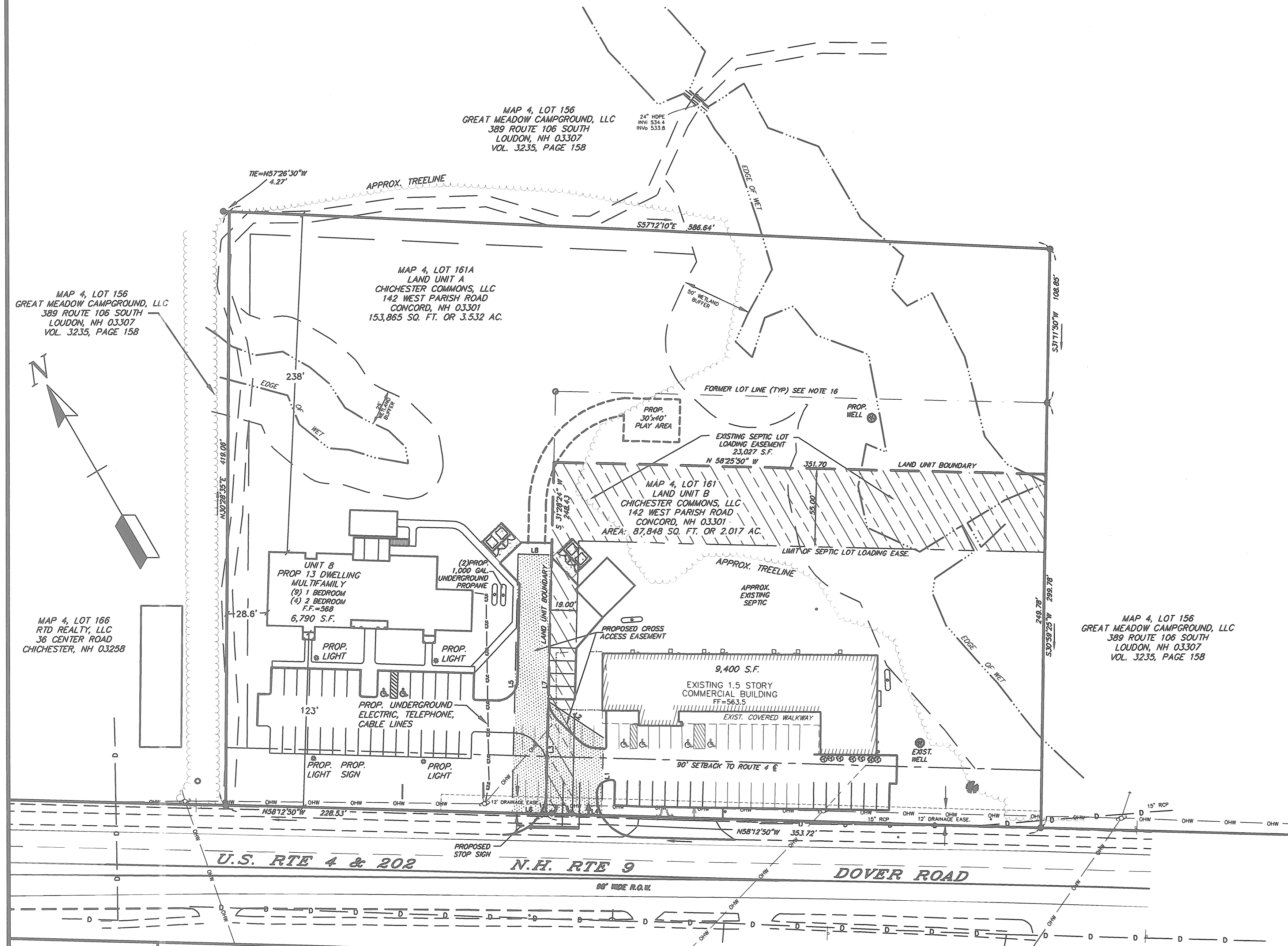
CONDOMINIUM SUBDIVISION / SITE PLAN

114 DOVER ROAD
CHICHESTER, NH 03258

PLAN INDEX	SHEET NO
COVER SHEET	1
EXISTING CONDITIONS PLAN	2
CONDOMINIUM SUBDIVISION/SITE PLAN	3
GRADING PLANS	4-5
UTILITY PLAN	6
NHDOT CURBCUT PLAN	7
SEPTIC SYSTEM	8-9
LANDSCAPE PLAN	10
DETAIL SHEETS	11-15
COMMERCIAL CONDO ELEVATIONS & FLOOR PLANS	A100
MULTIFAMILY CONDO ELEVATIONS & FLOOR PLANS	A101-A103



LOCUS MAP
NOT TO SCALE



NOTES:

- THE PURPOSE OF THIS PLAN IS TO MERGE TAX MAP 4 LOTS 161 & 161A INTO 1 LOT (TAX MAP 4 LOT 161) AND TO CREATE A CONDOMINIUM CONSISTING OF 4 MULTIFAMILY RESIDENTIAL UNIT CONSISTING OF 13 DWELLINGS (9-ONE BEDROOM & 4-TWO BEDROOM) AND 7 COMMERCIAL UNITS, LOCATED ON 2 LAND UNITS WITH ASSOCIATED LIMITED COMMON AREAS, AND COMMON AREAS. (SEE NOTE #18)
 - OWNERS OF RECORD: TAX MAP 4 LOT 161 CHICHESTER COMMONS, LLC 142 W. PARISH ROAD CONCORD, NH 03303 BK: 3407 PG:1290
TAX MAP 4 LOT 161A CHICHESTER COMMONS, LLC 142 W. PARISH ROAD CONCORD, NH 03303 BK: 3407 PG: 1260
 - TOTAL AREA OF PARCELS IS 241,713 S.F. (5.549 ACRES)
 - PROPERTY ADDRESS: 114 DOVER ROAD
 - THE PARCEL IS ZONED (CV) COMMERCIAL VILLAGE DISTRICT
- | DIMENSIONAL REQUIREMENTS | CV REQ. | PROPOSED |
|----------------------------|---------|-----------|
| MINIMUM LOT AREA | 2 AC. | 5.549 AC. |
| MINIMUM FRONTAGE | 50' | 582.25' |
| WETLANDS SETBACKS 0.25 AC | 25' | 25' |
| WETLANDS SETBACKS +0.25 AC | 50' | 50' |
| MAX. LOT COVERAGE | 70% | 40% |
| MIN. COMMON OPEN SPACE | 25% | 40% |
- MULTIFAMILY LAND UNIT
FRONT BUILDING SETBACK 90' 123'
SIDE SETBACK 15' 28.6'
REAR SETBACK 15' 238'
MAX. BUILDING FOOTPRINT 5,000 S.F. 6,790 S.F.
BUILDING HEIGHT 35' 29' FRONT 39' REAR
 - COMMERCIAL LAND UNIT
FRONT BUILDING SETBACK 90' 90' (EXISTING)
SIDE SETBACK 15' >15' (EXISTING)
REAR SETBACK 15' >15' (EXISTING)
MAX. BUILDING FOOTPRINT 5,000 S.F. 9,400 S.F. (EXISTING)
BUILDING HEIGHT 35' 24' (EXISTING)
 - DENSITY: (Sec 2.04 VIII.11.b) MULTIFAMILY 2 ACRES FOR FIRST TWO-FAMILY PLUS 1/2 ACRE FOR EACH ADDITIONAL UNIT = 2 + 0.5(11) = 7.5 ACRES REQUIRED (SEE NOTE 17)
 - THIS LOT IS SERVED BY ON-SITE SEPTIC AND WELL.
 - THE SUBJECT PROPERTY IS NOT WITHIN THE 100-YR FLOOD PLAIN AS PER THE FLOOD INSURANCE RATE MAP, MERRIMACK COUNTY NEW HAMPSHIRE COMMUNITY PANEL 557 OF 705, MAP NUMBER 33013C0557E, EFFECTIVE DATE APRIL 19, 2010.
 - FOR THIS SITE PLAN THE FOLLOWING STATE AND LOCAL PERMITS ARE REQUIRED (COPIES ARE FILED WITH THE PLANNING DEPARTMENT):
NHDES INDIVIDUAL SEPTIC - #CA2018091107
NHDES SUBDIVISION - #SA2018091101
NHDOT CURBCUT - 05-089-0028
 - SITE LIGHTING: DOWN CAST CUT-OFF LUMINARIES SHALL BE PROVIDED AS SHOWN ON THE SITE DETAILS AND LIGHTING PLAN IN ACCORDANCE WITH THE TOWN OF KINGSTON CHICHESTER.
 - SITE SIGNAGE WILL COMPLY WITH THE CHICHESTER REGULATIONS.
 - ELECTRICAL/TELEPHONE SERVICES WILL BE PROVIDED BY THE APPROPRIATE UTILITIES AND SHALL BE INSTALLED BY THE DEVELOPER.

- THE FOLLOWING WAIVERS WERE GRANTED FROM ZONING ORDINANCE BY PLANNING BOARD ON JULY 12, 2018:
 - SECTION 2.04.F.V-12 TO PERMIT A BUILDING WITH A FOOTPRINT 9,995 S.F. WHERE ONLY 5,000 S.F. PERMITTED.
 - SECTION 2.04.F.VII-(h) TO PERMIT A STRUCTURE OF 29 FEET IN THE FRONT AND 39 FEET IN THE REAR WHERE 35 FEET IS REQUIRED.
 - SECTION 2.04.F.V-12 TO PERMIT A COMMERCIAL STRUCTURE OF 10,000 SF WHERE ONLY 5,000 IS PERMITTED.
 - SECTION 2.04.F.V-10(b) TO ALLOW 72 SPACES WHERE 77 REQUIRED.
 - SECTION 2.04.F.VI-2 TO ALLOW A 14 UNIT RESIDENTIAL STRUCTURE (11-ONE BEDROOM UNITS & 3-TWO BEDROOM UNITS) AND 7 UNIT COMMERCIAL STRUCTURE ON A SINGLE LOT.
- ON JULY 12, 2018 THE PLANNING BOARD GRANTED A CONDITIONAL USE PERMIT (CUP) FROM SECTION 2.04.F.11(b) TO ALLOW 14 RESIDENTIAL UNITS (11-ONE BEDROOM & 3-TWO BEDROOM UNITS) ON 5.549 ACRE PARCEL OF LAND WHERE 8 ACRES IS REQUIRED.
- ON JULY 12, 2018 THE PLANNING BOARD GRANTED A LOT MERGER OF TAX MAP 4 LOT 161 AND TAX MAP 4 LOT 161A TO BE TAX MAP 4 LOT 161.
- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE TOWN OF CHICHESTER REQUIREMENTS TO THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE TOWN.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF CHICHESTER SITE PLAN REGULATIONS AND THE LATEST ADDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL IMPROVEMENTS SPECIFIED ON THESE SITE PLANS SHALL BE CONSTRUCTED, COMPLETED, INSPECTED AND APPROVED BY THE TOWN OF CHICHESTER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS AND OBTAINING ALL NECESSARY APPROVALS AND CERTIFICATE OF OCCUPANCY.
- SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADES
- HOURS OF CONSTRUCTION 6:00 A.M. TO 6:00 P.M. MONDAY THROUGH SATURDAY
- FLOWED SNOW FROM THE FACILITIES DRIVEWAY, PARKING LOT AND SIDEWALKS SHALL BE STORED IN THE DESIGNATED AREA SHOWN IN THIS PLAN SET WHEN SNOW STORAGE AREAS ARE AT CAPACITY. SUBSEQUENT SNOW SHALL BE HAULED OFF SITE AND DISPOSED OF IN AN ENVIRONMENTALLY SOUND FASHION AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROXIMATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT LEAST 72 HOURS BEFORE DIGGING.
- THIS PLAN SET CONTAINS 15 SHEETS. SHEET 3 (CONDOMINIUM SUBDIVISION) SHALL BE RECORDED AT THE MERRIMACK COUNTY REGISTERY OF DEEDS. THE ENTIRE SET IS ON FILE AT THE CHICHESTER PLANNING DEPARTMENT.
- NO STORAGE OF LIQUIDS OR HAZARDOUS MATERIALS ON-SITE.
- OWNER TO REMOVE/CONTROL VEGETATION AND FOREVER MAINTAIN AS NECESSARY TO PROVIDE NECESSARY SAFE SIGHT DISTANCE.
- A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED FOR ANY NEW CONSTRUCTION ON LAND UNIT A.

APPROVED BY THE PLANNING BOARD OF CHICHESTER, N.H.

DATE _____ CHAIRMAN _____

TAX MAP 4 LOTS 161 & 161A
CONDOMINIUM SUBDIVISION / SITE PLAN
114 DOVER ROAD
CHICHESTER, NEW HAMPSHIRE 03258

OWNER OF RECORD
CHICHESTER COMMONS, LLC
142 W. PARISH ROAD
CONCORD, NH 03303

SCALE: 1" = 50' MAY 24, 2018 SHEET 1 OF 15

DESIGN: GAC	DRAWN: JST	CHECKED: GAC	FB: ###	PG: ###	921-04
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Bedford Design Consultants
ENGINEERS AND SURVEYORS
177 East Industrial Park Drive, Manchester, NH 03109
Telephone: (603) 622-5533 Fax: (603) 622-4740
www.bedforddesign.com

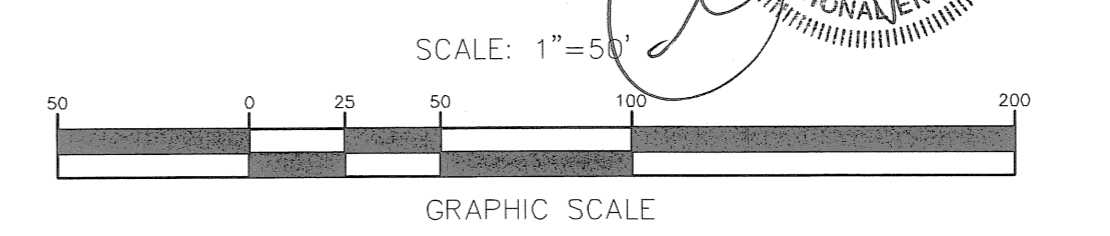
MAP 4, LOT 166
RTD REALTY, LLC
36 CENTER ROAD
CHICHESTER, NH 03258

MAP 4, LOT 164
EDWIN MOTT
119 DOVER ROAD
CHICHESTER, NH 03258
VOL. 1710, PAGE 993

MAP 4, LOT 163
JOANN LUKKIL
116 DOVER ROAD
CHICHESTER, NH 03258
VOL. 968, PAGE 307

MAP 4, LOT 162
TAY'S TALO, LLC
1226 OMAR ROAD
WEST PALM BEACH, FL. 33405

MAP 4, LOT 157
CARL D. MAHLSTEDT, JR.
TRUSTEE OF CARL D. MAHLSTEDT JR.
REVOCABLE TRUST
83 DOVER ROAD
CHICHESTER, NH 03258
VOL. 2976, PAGE 1686



4-6-20	REDUCED BUILDING SIZE	MKH	C
2-19-20	REV. UNIT 8 FOOTPRINT, DUMPSTERS, ACCESS EASE.	JST	B
8-24-18	PER FUSS & O'NEILL 8-21 REVIEW LETTER	JST	A
DATE	DESCRIPTION	BY	REV.

REFERENCE PLAN

1. "EXISTING CONDITIONS PLAN, PREPARED FOR CHICHESTER COMMONS, LLC" 142 WEST PARISH RD., CONCORD, NH 03301. PROJECT: MAP 4 LOTS 161 & 161A, LOCATION: 114A DOVER RD., CHICHESTER, NH. PREPARED BY RICHARD D. BARTLETT & ASSOCIATES, LLC, DATED NOVEMBER 7, 2013, UNRECORDED.

MAP 4, LOT 156
GREAT MEADOW CAMPGROUND, LLC
389 ROUTE 106 SOUTH
LOUDON, NH 03307
VOL. 3235, PAGE 158

LINE	LENGTH	BEARING
L1	55.22	N31°28'26"E
L2	47.17	N26°31'17"W
L3	80.00	S31°28'24"W
L4	40.00	S58°12'50"E
L5	183.15	S31°28'24"W
L6	24.00	S58°12'50"E
L7	183.28	N31°28'24"E
L8	24.00	N58°31'36"W

NOTES:

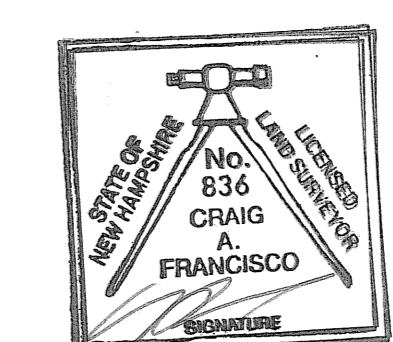
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- OWNERS OF RECORD: TAX MAP 4 LOT 161 CHICHESTER COMMONS, LLC 142 W. PARISH ROAD CONCORD, NH 03303 BK: 3407 PG:1290
TAX MAP 4 LOT 161A CHICHESTER COMMONS, LLC 142 W. PARISH ROAD CONCORD, NH 03303 BK: 3407 PG: 1260
- TOTAL AREA OF PARCELS IS 241,713 S.F. (5.549 ACRES)
- PROPERTY ADDRESS: 114 DOVER ROAD
- THE PARCEL IS ZONED (CV) COMMERCIAL VILLAGE DISTRICT

DIMENSIONAL REQUIREMENTS	CV REQ.	PROPOSED
MINIMUM LOT AREA	2 AC.	5.549 AC.
MINIMUM FRONTAGE	50'	582.25'
WETLANDS SETBACKS 0.25 AC	25'	25'
WETLANDS SETBACKS +0.25 AC	50'	50'
MAX. LOT COVERAGE	70%	23%
MIN. COMMON OPEN SPACE	25%	40%
MULTIFAMILY LAND UNIT		
FRONT BUILDING SETBACK	90'	123'
SIDE SETBACK	15'	28.6'
REAR SETBACK	15'	238'
MAX. BUILDING FOOTPRINT	5,000 S.F.	6,790 S.F.
BUILDING HEIGHT	35'	29' FRONT 39' REAR
COMMERCIAL LAND UNIT		
FRONT BUILDING SETBACK	90'	90'
SIDE SETBACK	15'	15'
REAR SETBACK	15'	15'
MAX. BUILDING FOOTPRINT	5,000 S.F.	9,400 S.F.
BUILDING HEIGHT	35'	24'

- PARKING REQUIREMENTS: (Sec 2.04 VIII.11.j)
MULTI-FAMILY PARKING - 9'x19' SPACES WITH 22' AISLES
9 ONE BEDROOM DWELLING UNITS @ 2.5 DWELLING UNIT = 18 SPACES
4 TWO BEDROOM DWELLING UNITS @ 2.5 DWELLING UNIT = 10 SPACES
TOTAL REQUIRED = 28 SPACES
30 SPACES PROVIDED (INCLUDING 2 H/C SPACES)
- COMMERCIAL PARKING: 9,400 S.F. @ 1/200 S.F. = 47 SPACES REQUIRED
EXISTING SITE 39 SPACES
PROPOSED SITE 42 SPACES
TOTAL FOR LOT REQUIRED 77 SPACES
PROPOSED 72 SPACES (SEE NOTE 14)
- DENSITY: (Sec 2.04 VIII.11.b) MULTIFAMILY 2 ACRES FOR FIRST TWO-FAMILY PLUS 1/2 ACRE FOR EACH ADDITIONAL UNIT = 2 + 0.5(11) = 7.5 ACRES REQUIRED (SEE NOTE 15)
- THE SUBJECT PROPERTY IS NOT WITHIN THE 100-YR FLOOD PLAIN AS PER THE FLOOD INSURANCE RATE MAP, MERRIMACK COUNTY NEW HAMPSHIRE COMMUNITY PANEL 557 OF 705, MAP NUMBER 33013C0557E, EFFECTIVE DATE APRIL 19, 2010.
- FOR THIS SITE PLAN THE FOLLOWING STATE AND LOCAL PERMITS ARE REQUIRED (COPIES ARE FILED WITH THE PLANNING DEPARTMENT):
NHDES INDIVIDUAL SEPTIC - #CA2018091107
NHDES SUBDIVISION - #SAC2018091101
NHDOT CURB CUT - 03-089-0028
- SITE LIGHTING: DOWN CAST OUT-OFF LUMINARIES SHALL BE PROVIDED AS SHOWN ON THE SITE DETAILS AND LIGHTING PLAN IN ACCORDANCE WITH THE TOWN OF CHICHESTER.
- SITE SIGNAGE WILL COMPLY WITH THE CHICHESTER REGULATIONS.
- ELECTRICAL/TELEPHONE SERVICES WILL BE PROVIDED BY THE APPROPRIATE UTILITIES, AND SHALL BE INSTALLED BY THE DEVELOPER.
- SITE IS SERVED BY ON-SITE WELL AND ON-SITE SEWAGE DISPOSAL SYSTEM.
- THE FOLLOWING WAIVERS WERE GRANTED FROM ZONING ORDINANCE BY PLANNING BOARD ON JULY 12, 2018:
SECTION 2.04.F.VII-12 TO PERMIT A BUILDING WITH A FOOTPRINT 9,995 S.F. WHERE ONLY 5,000 S.F. IS PERMITTED.
SECTION 2.04.F.VIII-(h) TO PERMIT A STRUCTURE OF 29 FEET IN THE FRONT AND 39 FEET IN THE REAR WHERE 35 FEET IS REQUIRED.
SECTION 2.04.F.VI-12 TO PERMIT A COMMERCIAL STRUCTURE OF 10,000 SF WHERE ONLY 5,000 IS PERMITTED.
SECTION 2.04.F.VI-10(b) TO ALLOW 72 SPACES WHERE 77 REQUIRED.
SECTION 2.04.F.VI-2 TO ALLOW A 14 UNIT RESIDENTIAL STRUCTURE (11-ONE BEDROOM UNITS & 3-TWO BEDROOM UNITS) AND 7 UNIT COMMERCIAL STRUCTURE ON A SINGLE LOT.
- ON JULY 12, 2018 THE PLANNING BOARD GRANTED A CONDITIONAL USE PERMIT (CUP) FROM SECTION 2.04.F.11(b) TO ALLOW 14 RESIDENTIAL UNITS (11-ONE BEDROOM & 3-TWO BEDROOM UNITS ON 5.549 ACRE PARCEL OF LAND WHERE 8 ACRES IS REQUIRED).
- ON JULY 12, 2018 THE PLANNING BOARD GRANTED A LOT MERGER OF TAX MAP 4 LOT 161 AND TAX MAP 4 LOT 161A TO BE TAX MAP 4 LOT 161.
- BEDFORD DESIGN CONSULTANTS DID NOT PERFORM ANY FIELD SURVEYS. THIS PLAN USED THE REFERENCED PLAN FOR THE BOUNDARY AND LOCATION OF THE IMPROVEMENTS.
- SEE THE FLOOR PLANS FOR DIMENSIONS AND HEIGHTS OF THE UNITS.
- A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED FOR ANY NEW CONSTRUCTION ON LAND UNIT A.

"I HEREBY CERTIFY THAT THIS PLAN IS ACCURATE AND IS IN COMPLIANCE WITH THE PROVISIONS OF THE STATE OF NEW HAMPSHIRE CONDOMINIUM ACT, RSA 356-B:20(1). UNITS 1, 2, 3, 4, 5, 6 & 7 ARE SUBSTANTIALLY COMPLETE. UNIT 8 HAS NOT YET BEGUN.

DATE: 4-6-2020
LICENSED LAND SURVEYOR



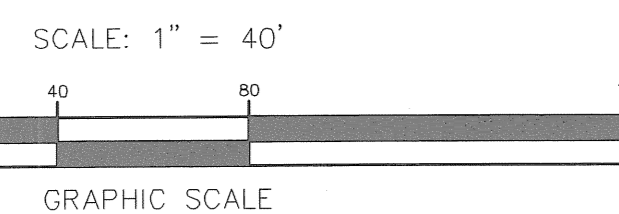
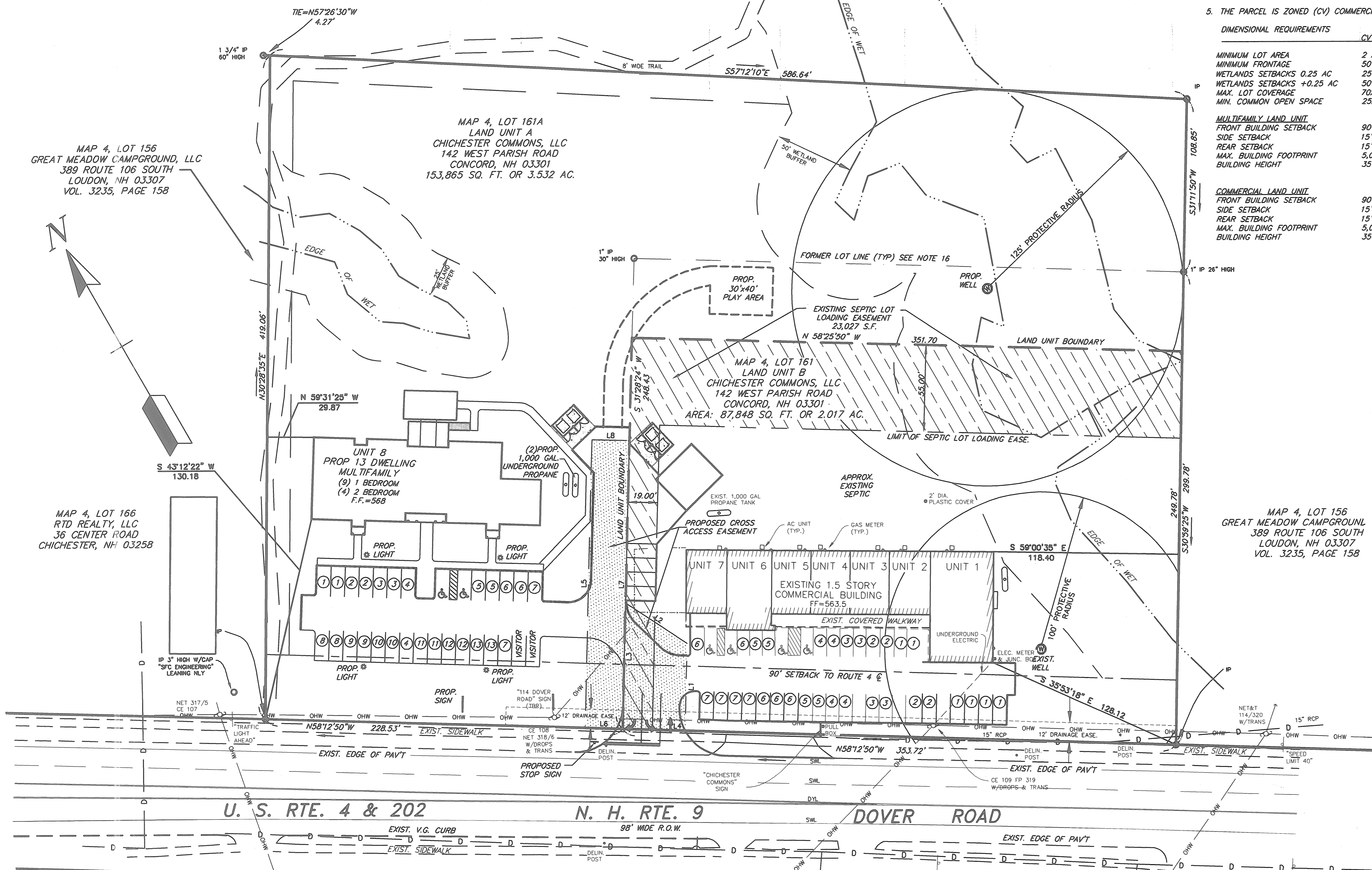
TAX MAP 4 LOTS 161 & 161A
CONDOMINIUM SUBDIVISION / SITE PLAN
114 DOVER ROAD
CHICHESTER, NEW HAMPSHIRE 03258

OWNER OF RECORD
CHICHESTER COMMONS, LLC
142 W. PARISH ROAD
CONCORD, NH 03303

SCALE: 1" = 40' MAY 24, 2018 SHEET 3 OF 15

DESIGN: GAC	DRAWN: CAF	CHECKED: GAC	FB: ###	PG: ###	921-04
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Bedford Design Consultants Inc.
ENGINEERS AND SURVEYORS
177 East Industrial Park Drive, Manchester, NH 03109
Telephone: (603) 622-6533 Fax: (603) 622-4740
www.bedforddesign.com



WETLAND CERTIFICATION

JURISDICTIONAL WETLANDS WERE DELINEATED BY STONEY RIDGE ENVIRONMENTAL LLC IN NOVEMBER 2013 UTILIZING THE FOLLOWING STANDARDS:
1) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0. 2010. L.M. VASILAS, G.W. HURT, AND C.V. NOBLE (EDS.). UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS.
2) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3. APRIL 2004. NEWPPCC WETLANDS WORKGROUP. WILMINGTON, MA 01887.
3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.1.0 (HTTP://WETLAND.PLANTS.USACE.ARMY.MIL). U.S. ARMY CORPS OF ENGINEERS, ENGINEER RESEARCH AND DEVELOPMENT CENTER, COLD REGIONS RESEARCH AND ENGINEERING LABORATORY, HANOVER, NH, AND BONAP, CHAPEN HILL.

4) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NEW HAMPSHIRE, UNITED STATES DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE. NERC-88/18.29.
5) CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, JANUARY 1987. WETLANDS RESEARCH PROGRAM TECHNICAL REPORT Y-87-1.
6) INTERIM REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, OCTOBER 2009. U.S. ARMY CORPS OF ENGINEERS. ENVIRONMENTAL LABORATORY ERDC/EL TR-09-19.
7) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, DECEMBER 1979. L. COMARIN, V. CARTER, F. GOLET, AND E. LAROE. U.S. DEPARTMENT OF THE INTERIOR, FISH AND WILDLIFE SERVICE. FWS/OBS-79/31

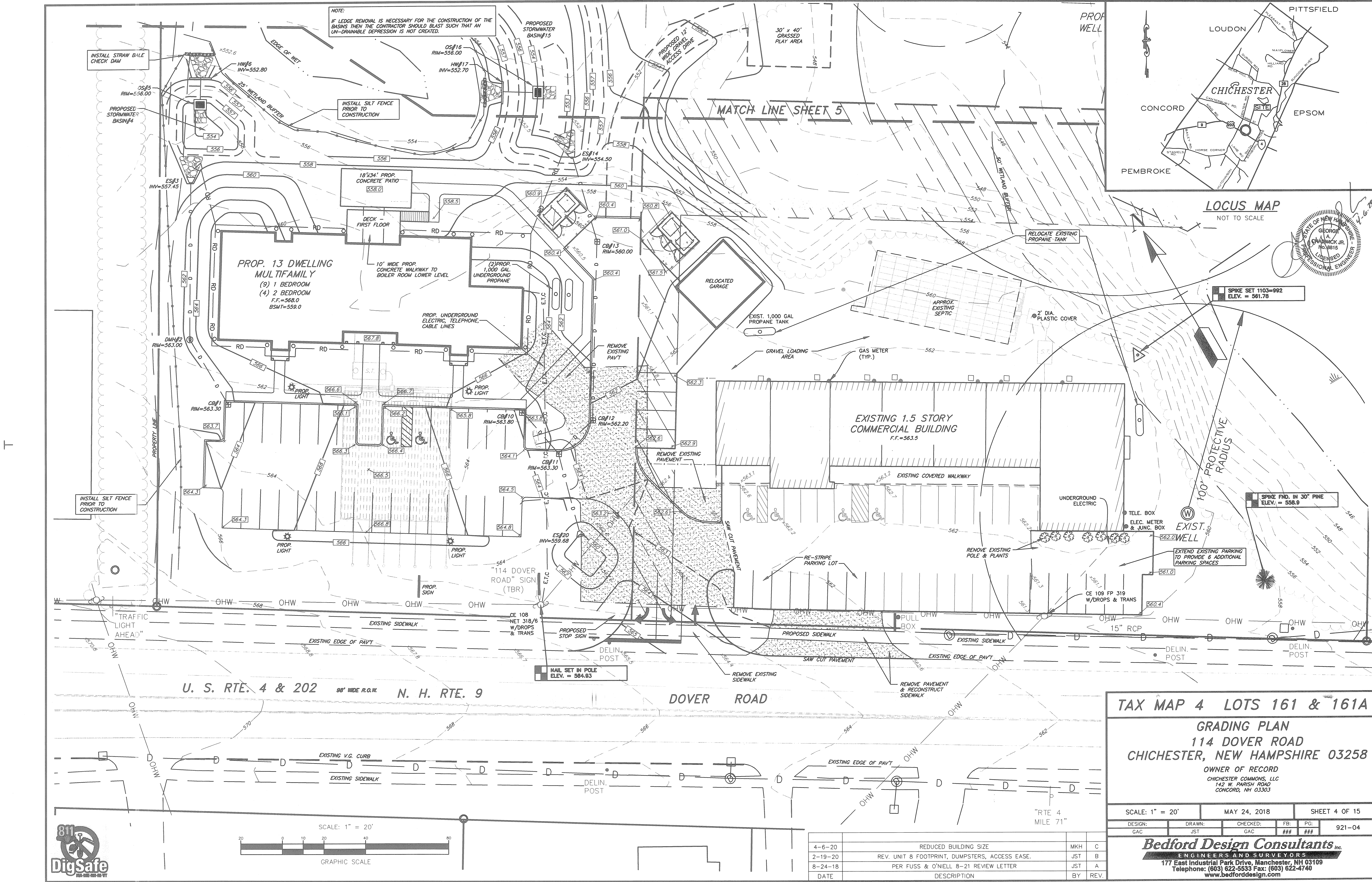
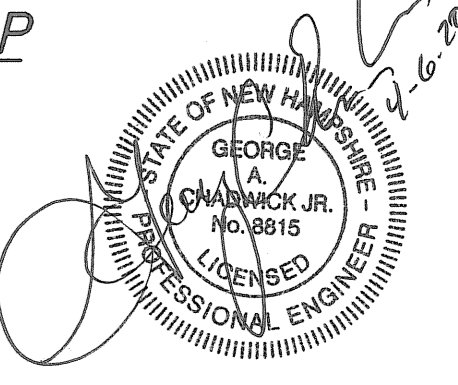
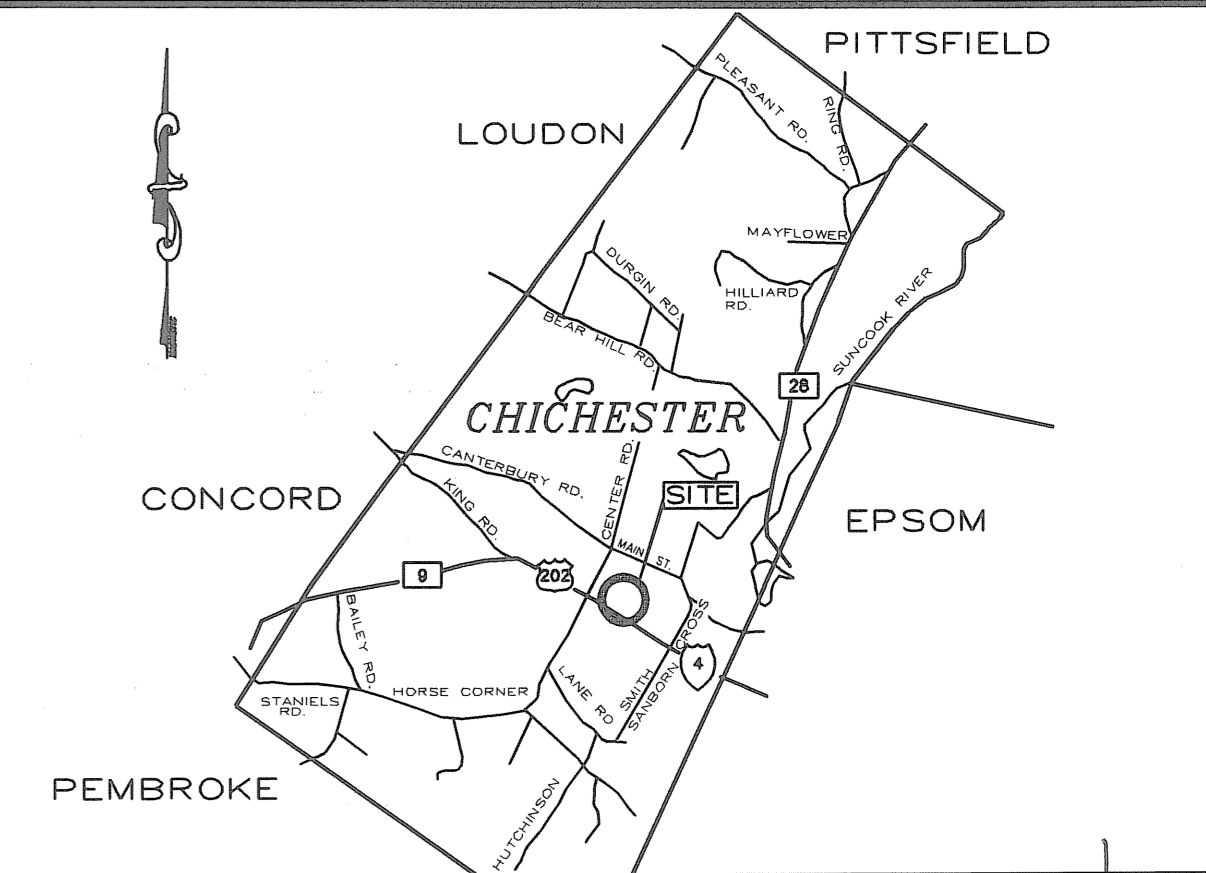
Ⓞ DENOTES PARKING SPACE IS RESERVED FOR THAT UNIT NUMBER OR RESIDENCE.

DATE	DESCRIPTION	BY	REV.
4-6-20	REDUCED BUILDING SIZE	MKH	C
2-19-20	REV. UNIT 8 FOOTPRINT, DUMPSTERS, ACCESS EASE.	JST	B
8-24-18	PER FUSS & O'NEILL 8-21 REVIEW LETTER	JST	A

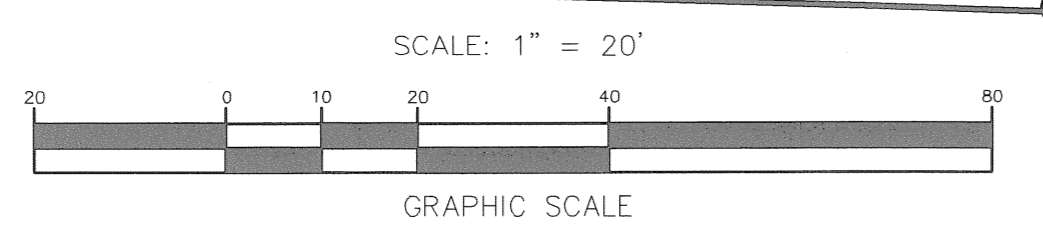


APPROVED BY THE PLANNING BOARD OF CHICHESTER, N.H.
DATE: _____ CHAIRMAN: _____

NOTE:
IF LEDGE REMOVAL IS NECESSARY FOR THE CONSTRUCTION OF THE BASINS THEN THE CONTRACTOR SHOULD BLAST SUCH THAT AN UN-DRAINABLE DEPRESSION IS NOT CREATED.



U. S. RTE. 4 & 202 98' WIDE R.O.W. N. H. RTE. 9 DOVER ROAD



DATE	DESCRIPTION	BY	REV.
4-6-20	REDUCED BUILDING SIZE	MKH	C
2-19-20	REV. UNIT 8 FOOTPRINT, DUMPSTERS, ACCESS EASE.	JST	B
8-24-18	PER FUSS & O'NEILL 8-21 REVIEW LETTER	JST	A

TAX MAP 4 LOTS 161 & 161A

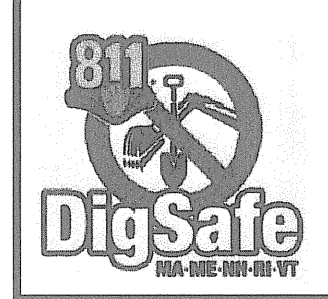
GRADING PLAN
114 DOVER ROAD
CHICHESTER, NEW HAMPSHIRE 03258

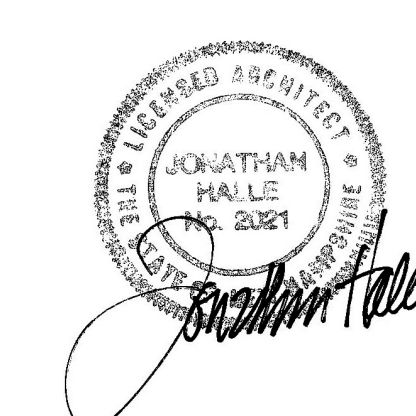
OWNER OF RECORD
CHICHESTER COMMONS, LLC
142 W. PARISH ROAD
CONCORD, NH 03303

SCALE: 1" = 20' MAY 24, 2018 SHEET 4 OF 15

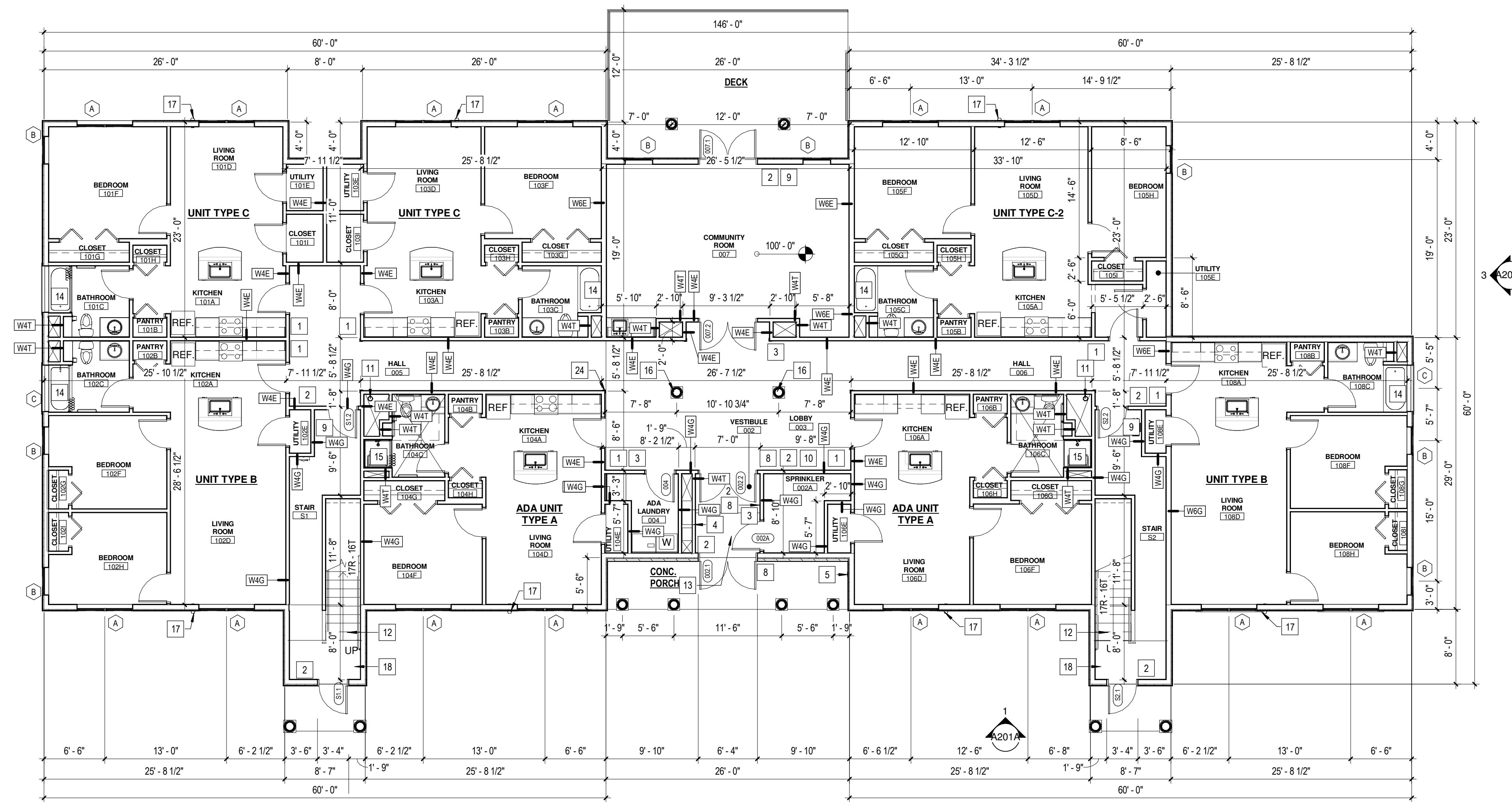
DESIGN: GAC DRAWN: JST CHECKED: GAC FB: ### PG: ### 921-04

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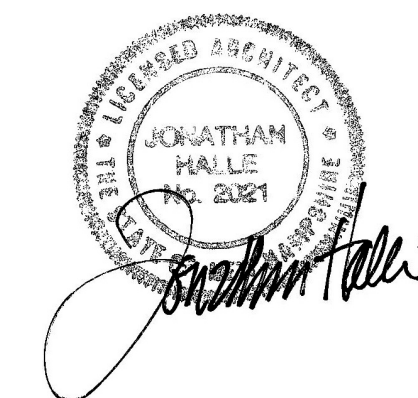


REV	DATE	COMMENTS

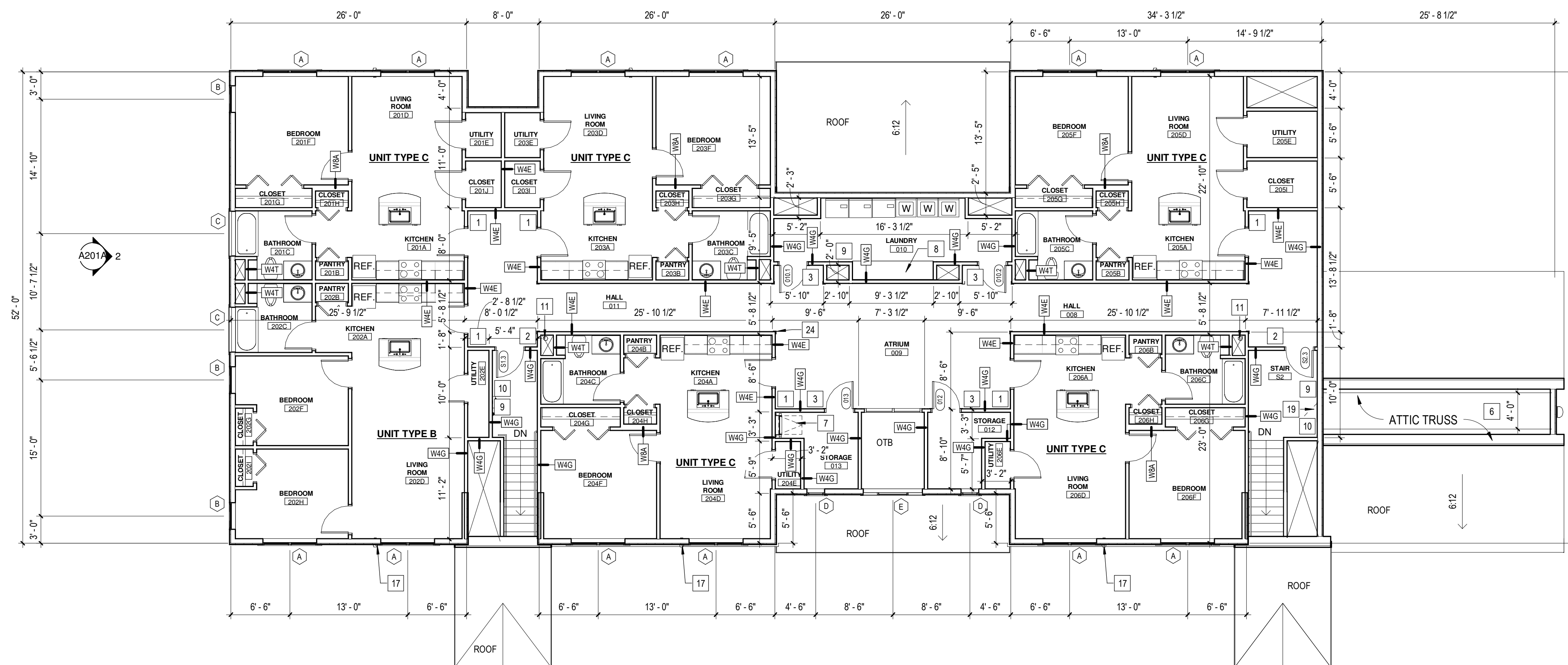


three inches = one foot
 one and one half inches = one foot
 one inch = one foot
 three quarter inch = one foot
 one quarter inch = one foot
 one eighth inch = one foot
 WA:SERVER\polder\Fred\redaction\dwg\Desktop\CHICHESTER\3393 CHICHESTER HOUSING - UNIT ALTYR TEMPLATE DATE: 1/25/2019

1 FIRST FLOOR PLAN (LEVEL OF DISCHARGE)
 A101A 1/8" = 1'-0"

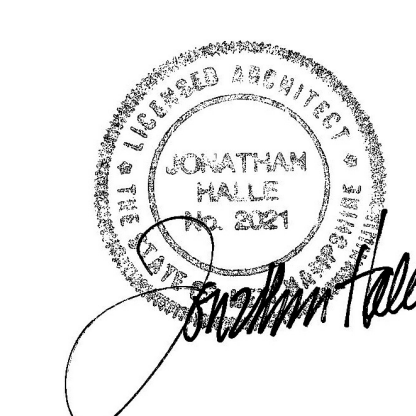


REV	DATE	COMMENTS



three eighths inch = one foot
 one and one half inches = one foot
 one inch = one foot
 three quarters inch = one foot
 one quarter inch = one foot
 one eighth inch = one foot
 W:\SERVER\polder\Fred\redaction\dwg\Desktop\CHICHESTER\3393 CHICHESTER HOUSING - UNIT ALTY.dwg
 TEMPLATE DATE: 1/12/2019

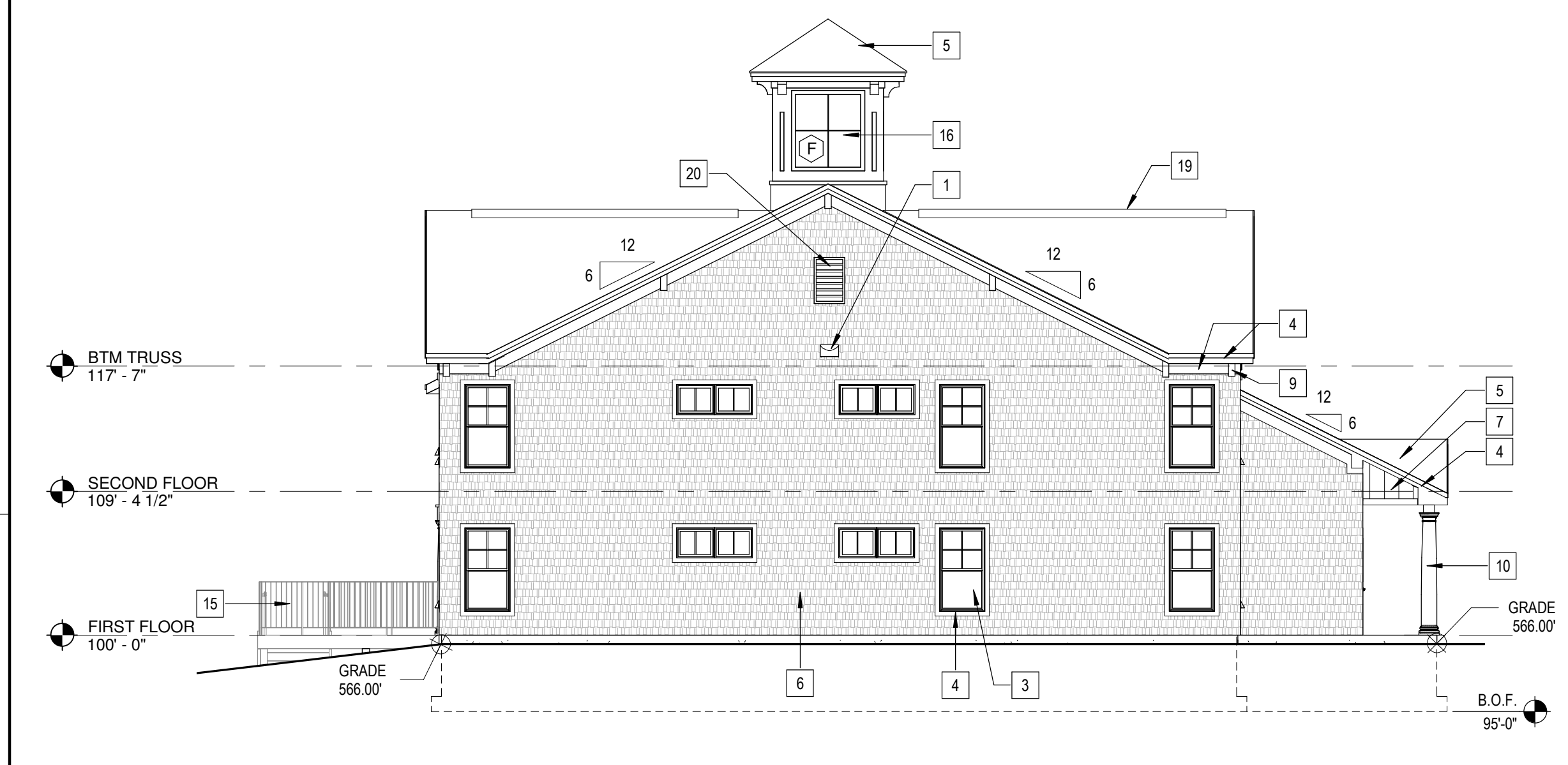
1 SECOND FLOOR PLAN
 A102A 1/8" = 1'-0"



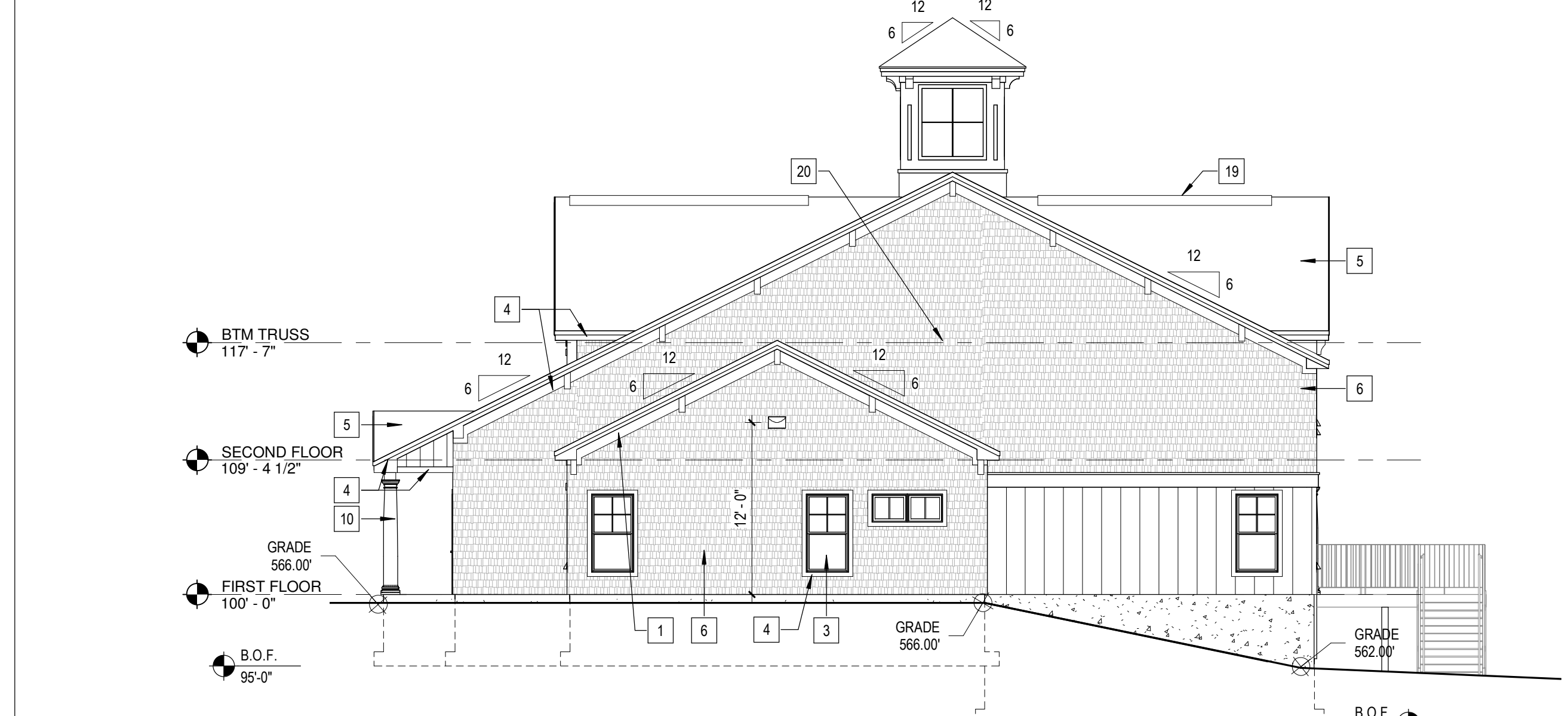
REV	DATE	COMMENTS



1 FRONT ELEVATION
A101A 1/8" = 1'-0"



2 LEFT ELEVATION
A102A 1/8" = 1'-0"



3 RIGHT ELEVATION
A101A 1/8" = 1'-0"



4 REAR ELEVATION
1/8" = 1'-0"

three eighths inch = one foot
 one and one half inches = one foot
 one inch = one foot
 three quarters inch = one foot
 one quarter inch = one foot
 one eighth inch = one foot
 W:\SERVER\pdr\pdr\redaction\haller\Desktop\CHICHESTER\3393 CHICHESTER HOUSING - UNIT A1.Tvt TEMPLATE DATE: 1/12/2019

S I T E D E V E L O P M E N T P L A N S

NOTES:

- 1.) THE SUBJECT PARCEL IS LOT 150C ON THE TOWN OF TAX MAP 4. THE OWNER OF RECORD OF LOT 150C IS MAL-MAR LLC OF 20 SUMMITT AVENUE, DERRY, NH 03038. SEE MCRD V. 2247 P. 434.
- 2.) THE SUBJECT PARCELS ARE ZONED CI/MF. MINIMUM LOT SIZE IS 2 ACRES. MINIMUM LOT FRONTAGE = 200'. SETBACKS ARE AS FOLLOWS: FRONT = 40' MIN. (90' FROM CENTERLINE OF ROUTE 4, 202 & 9), SIDE = 15' AND REAR = 15', SUBJECT TO EXACT USE. THE SETBACKS SHOWN ARE FOR REFERENCE ONLY AND NEED TO BE VERIFIED WITH THE ZONING COMPLIANCE OFFICER.
- 3.) THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN JANUARY TO MARCH OF 2019. I, JOSEPH M. WICHERT, NHLLS #783, CERTIFY THAT THE WORK WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.
- 4.) THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY OF THE SUBJECT PARCELS AND THE CURRENT CONDITIONS THEREON.
- 5.) THE SUBJECT PARCELS ARE IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP, MERRIMACK COUNTY, NEW HAMPSHIRE, MAP NUMBER 33013C0557E, EFFECTIVE DATE APRIL 19, 2010.
- 6.) THE VERTICAL DATUM IS NAVD 1988 AND THE HORIZONTAL DATUM IS NHSPC 1983/2011. THE DATUM WERE ESTABLISHED USING STATIC GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN AUGUST OF 2018.
- 7.) THE UTILITY INFORMATION SHOWN IS BASED ON THE ABOVE GROUND LOCATION OF VISIBLE UTILITIES, THE CONTRACTOR NEEDS TO FIELD VERIFY ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THIS OFFICE DOES NOT GUARANTEE THE LOCATION AND ACCURACY OF THE UTILITY DATA. DIG SAFE SHALL BE CONTACTED 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION (811).
- 8.) THE PURPOSE OF THE PLAN SET IS TO SHOW THE PROPOSED IMPROVEMENTS FOR A GRAVEL STORAGE AREA ON THE SUBJECT PARCEL. DRAINAGE, GRADING AND UTILITIES HAVE BEEN INCLUDED
- 9.) NO CHANGES TO THE PARKING OR BUILDING ARE PROPOSED AS PART OF THIS GRAVEL STORAGE AREA.
- 10.) WETLANDS WERE DELINEATED BY ASPEN ENVIRONMENTAL CONSULTANTS IN JAN. 7, MARCH 27, AND JULY 29 2019 BY AARON WECHSLER USING THE ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, DATED JANUARY 1987.
- 11.) AN ENVIRONMENTAL MONITOR WILL BE REQUIRED DUE TO THE AREA OF DISTURBANCE BEING GREATER THAN 5 ACRES. THE MONITOR SHALL ADHERE TO ALL REQUIREMENTS OF ENV-WQ 1505.03(D)
- 12.) THE GRADING AND DRAINAGE EASEMENTS AS SHOWN SHALL BE RECORDED AT THE REGISTRY OF DEEDS. IN THE EVENT THE LOTS ARE COMBINED THE EASEMENTS SHALL BE ABANDONDED.

AGENCY APPROVALS:

NHDOT - DRIVEWAY PERMIT APPR # NH DOT DRIVEWAY PERMIT NO. _____
 NHDES - ALTERATION OF TERRAIN PERMIT NO. ___AOT-1765___

PLAN REFERENCES:

- 1.) "SUBDIVISION OF EDITH TASKER, ROUTE 4, 202 & 9, CHICHESTER, N.H.", DATED AUGUST 1984 AND PREPARED BY SURVEY FIELD SERVICES. MCRD PLAN 8,095.
- 3.) "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID PROJECT, NO. 179 (2), CENTRAL ROAD, AS-BUILT PLANS, TOWN OF CHICHESTER, COUNTY OF MERRIMACK", DATED 4/03/1940 & ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- 4.) CHICHESTER-EPSOM, P7909, WORKSHEET, PLOTTED 7/07/1967 ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- 5.) "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, CONSTRUCTION PLANS, FEDERAL AID PROJECT, X-A004(170), N.H. PROJECT NO. 29533, US ROUTE 202/4 & NH ROUTE 9. DATED 5/12/2016 & ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.



CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. ROKEH CONSULTING, LLC, MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY UTILITIES WHETHER THEY BE ABOVE OR BELOW GROUND. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-800-DIG-SAFE.

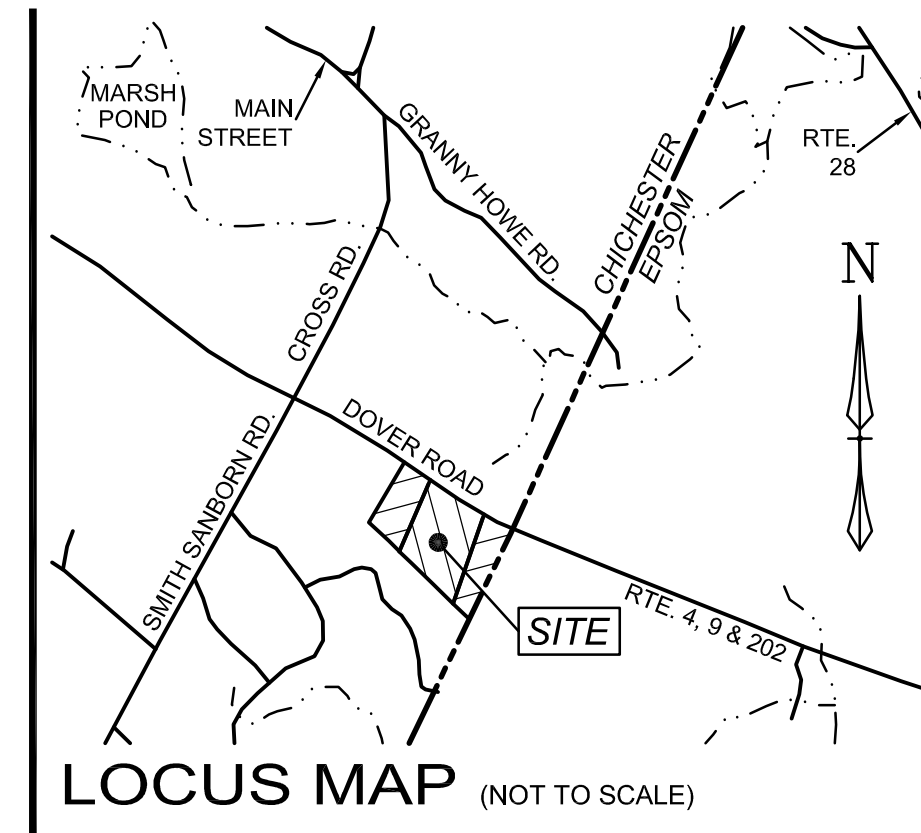
LIST OF DRAWINGS

DWG NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS
3,4	SITE AND GRADING PLAN
5, 6, 7, 8	CONSTRUCTION & EROSION CONTROL DETAILS
9,10	BMP MAINTENANCE SHEETS

LIST OF ADDITIONAL CONSULTANTS

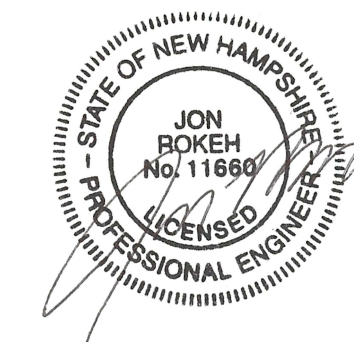
LAND SURVEYOR
 JOSEPH M. WICHERT, LLS INC
 802 AMHERST STREET
 MANCHESTER, NH 03104
 Phone: (603) 647-4282

WETLANDS AND SOIL SCIENTIST
 AARON WECHSLER
 ASPEN ENVIRONMENTAL
 41 LIBERTY HILL ROAD
 BUILDING 2, UNIT 201
 HENNIKER, NH 03242
 603) 848-5606



NOTE:

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE TOWN OF CHICHESTER REGULATIONS AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
2. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
3. PHYSICAL EVIDENCE OF EXISTING UTILITIES WERE LOCATED ON THE GROUND HOWEVER PRIOR TO ANY CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT DIG-SAFE AND VERIFY ALL UNDERGROUND UTILITY LOCATIONS.



Developer
 Mal-Mar, LLC
 20 Summit Avenue,
 Derry, NH

COVER SHEET
 SITE PLAN
 TAX PARCEL 4 LOT 150C & E
 DOVER ROAD
 CHICHESTER, MERRIMACK COUNTY, NEW HAMPSHIRE

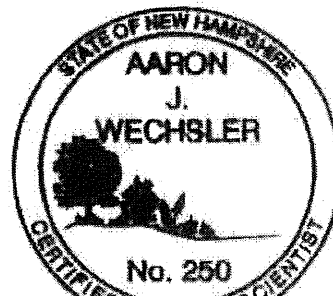
REVISIONS				
DATE	DESCRIPTION	DWN BY	CK BY	
03/05/20	ADDRESS NHDES AOT COMMENTS	JR	JR	
03/13/20	ADDRESS NHDES AOT COMMENTS	JR	JR	
04/02/20	ADDRESS NHDOT AND TOWN COMMENTS	JR	JR	

Rokeh Consulting, LLC
 89 KING ROAD, CHICHESTER, NH
 PH: 603-387-8688

SCALE: NTS
 DATE: OCTOBER 2, 2019
 DR. BY: JR CK. BY: JR
 JOB NO. _____
 SHEET NO. 1 OF 10

WETLANDS NOTE:

WETLANDS SHOWN WERE DELINEATED USING STANDARDS AND METHODOLOGY APPROVED BY THE ARMY CORPS OF ENGINEERS AND THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES WETLANDS BUREAU. WETLANDS WERE DELINEATED ON JANUARY 7, MARCH 27 AND JULY 29, 2019 BY AARON WECHSLER, CWS #250, OF ASPEN ENVIRONMENTAL CONSULTANTS, LLC.



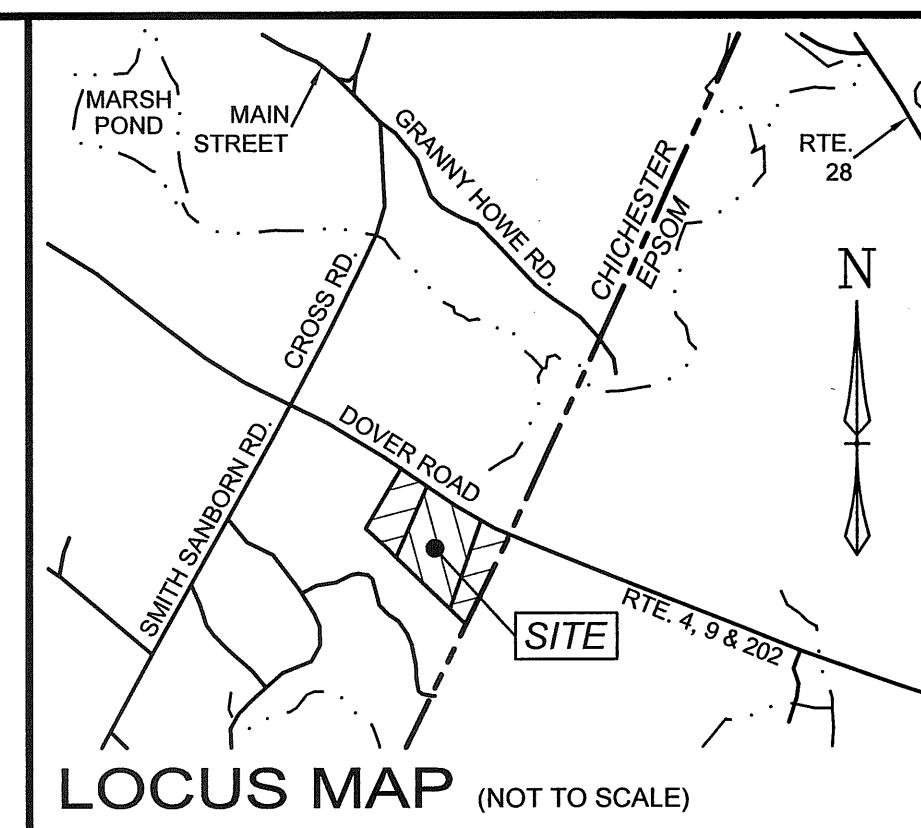
TAX MAP 4 LOT 151
D.B.U. CONSTRUCTION, INC.
PO BOX 984
EPSOM, NH 03038
V. 3599 P. 869

TAX MAP 4 LOT 152
DAVID, SR. & KATHLEEN MIHACHIK,
DAVID MIHACHIK, JR. & JAMES MIHACHIK
56 BLACK HALL ROAD
EPSOM, NH 03234
V. 2205 P. 1464

**DOVER ROAD A.K.A.
U.S. RTE. 4 & 202,
N.H. RTE. 9**

108' WIDE R.O.W.

SEE MCRD V. 1018, P. 82 FOR COMMISSIONERS' RETURN OF HIGHWAY LAYOUT, P-7909, 1967. INCLUDES EXPANSION OF THE R.O.W. TO THE LIMITS SHOWN AND RESERVES RIGHTS TO EXTEND SLOPES BEYOND IT. SEE MCRD V. 3519, P. 1598 FOR DRAINAGE EASEMENTS. SEE NH PROJECT 29,533.



NOTES:

- 1) THE SUBJECT PARCELS ARE LOTS 150B, 150C & 150E ON THE TOWN OF TAX MAP 4. THE OWNER OF RECORD OF LOT 150C IS MAL-MAR LLC OF 20 SUMMITT AVENUE, DERRY, NH 03038. SEE MCRD V. 2247 P. 434. THE OWNER OF LOTS 150B & 150E IS GNB, LLC, 9 DOVER ROAD, CHICHESTER, NH 03258. SEE MCRD V. 3613 P. 1814.
- 2) THE SUBJECT PARCELS ARE ZONED C1/MF. MINIMUM LOT SIZE IS 2 ACRES. MINIMUM LOT FRONTAGE = 200'. SETBACKS ARE AS FOLLOWS: FRONT = 40' MIN. (90' FROM CENTERLINE OF ROUTE 4, 202 & 9), SIDE = 15' AND REAR = 15', SUBJECT TO EXACT USE. THE SETBACKS SHOWN ARE FOR REFERENCE ONLY AND NEED TO BE VERIFIED WITH THE ZONING COMPLIANCE OFFICER.
- 3) THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE IN JANUARY TO MARCH OF 2019. I, JOSEPH M. WICHERT, NHLS #783, CERTIFY THAT THE WORK WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION.
- 4) THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY OF THE SUBJECT PARCELS AND THE CURRENT CONDITIONS THEREON.
- 5) THE SUBJECT PARCELS ARE IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP, MERRIMACK COUNTY, NEW HAMPSHIRE, MAP NUMBER 33013C0557E, EFFECTIVE DATE APRIL 19, 2010.
- 6) THE VERTICAL DATUM IS NAVD 1988 AND THE HORIZONTAL DATUM IS NHSPC 1983/2011. THE DATUM WERE ESTABLISHED USING STATIC GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN AUGUST OF 2018.
- 7) THE UTILITY INFORMATION SHOWN IS BASED ON THE ABOVE GROUND LOCATION OF VISIBLE UTILITIES. THE CONTRACTOR NEEDS TO FIELD VERIFY ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THIS OFFICE DOES NOT GUARANTEE THE LOCATION AND ACCURACY OF THE UTILITY DATA. DIG SAFE SHALL BE CONTACTED 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION (811).

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- 1) "SUBDIVISION OF EDITH TASKER, ROUTE 4, 202 & 9, CHICHESTER, N.H.", DATED AUGUST 1984 AND PREPARED BY SURVEY FIELD SERVICES. MCRD PLAN 8,095.
- 3) "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID PROJECT, NO. 179 (2), CENTRAL ROAD, AS-BUILT PLANS, TOWN OF CHICHESTER, COUNTY OF MERRIMACK", DATED 4/03/1940 & ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- 4) CHICHESTER-EPSOM, P7909, WORKSHEET, PLOTTED 7/07/1967 ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- 5) "STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, CONSTRUCTION PLANS, FEDERAL AID PROJECT, X-A004(170), N.H. PROJECT NO. 29533, US ROUTE 202/4 & NH ROUTE 9. DATED 5/12/2016 & ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.

**EXISTING CONDITIONS PLAN FOR
MAL-MAR, LLC
TAX MAP 4 LOT 150C &
GNB, LLC
TAX MAP 4 LOT 150B & 150E
9 DOVER ROAD AKA ROUTES 4, 202 & 9
CHICHESTER, NEW HAMPSHIRE**

DATE: MARCH 8, 2019 SCALE: 1" = 60'
EXISTING CONDITIONS PLAN BY:
802 AMHERST STREET
MANCHESTER, NH 03104
TEL: (603) 647-4282 OR 738-8203
FAX: (603) 623-1910
WEB: WWW.JMWLLS.COM
Joseph M. Wichert
LLS, INC.

LAND SURVEYOR & SEPTIC SYSTEM DESIGNER

SHEET S1 SHEET 1 OF 1 F.B. - P. - JOB #2016140 2019



TAX MAP 4 LOT 150
BILL'S RV REALTY, LLC.
27 DOVER ROAD
CHICHESTER, NH 03258
V. 2975 P. 208

TAX MAP 4 LOT 150B
215,908 S.F. ±
4.9566 ACRES ±

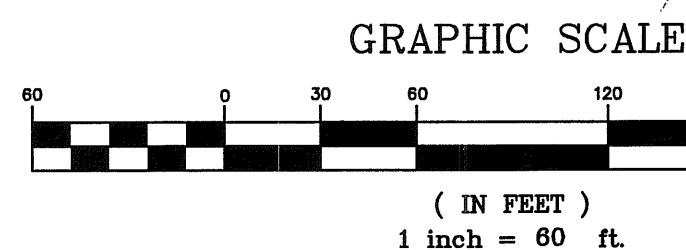
TAX MAP 4 LOT 150C
464,660 S.F. ±
10.6671 ACRES ±

TAX MAP 4 LOT 150E
213,389 S.F. ±
4.8987 ACRES ±

TAX MAP U6 LOT 9-1
CANTERBURY COVE
DEVELOPMENT, LLC
62 PEMBROKE RD
PO BOX 1831
CONCORD, NH 03302
V. 2741 P. 593

TAX MAP 4 LOT 132
LOUIS A. & HEATHER K BARKER
23 HILLVIEW DRIVE
CHICHESTER, NH 03258
V. 3599 P. 869

TAX MAP 4 LOT 134
LEE M. ADAMS & KENNETH C. SMITH
33 HILLVIEW DRIVE
CHICHESTER, NH 03258
V. 3522 P. 1745
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SYMBOL LEGEND

- IRON PIPE FOUND
- CONC. OR GRAN. BOUND FOUND
- DRILL HOLE
- ☆ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ WELL
- ▲ WETLAND FLAG
- ⊕ SSS MAP SYMBOL
- SSS SOIL LINE
- WETLAND LINE
- SD STORM DRAIN
- OVERHEAD UTILITY LINE
- ○ ○ ○ ○ STONE WALL

SITE SPECIFIC SOIL MAP UNIT KEY:

SYMBOL	MAP UNIT	SLOPE CLASS	DRAINAGE CLASS	HISS SYMBOL	HYDROLOGIC SOIL GROUP
49A	WHITMAN LOAM	0-3%	V.	623AH	D
67B	PAXTON F. SANDY LOAM, V. STONY	0-8%	WELL	223BH	C
67C	PAXTON F. SANDY LOAM, V. STONY	8-15%	WELL	223CH	C
67D	PAXTON F. SANDY LOAM, V. STONY	15-25%	WELL	223DH	C
67E	PAXTON F. SANDY LOAM, V. STONY	25% +	WELL	223EH	C
129B	WOODBURGE F. SANDY LOAM, V. STONY	0-8%	MOD. WELL	323BH	C
129C	WOODBURGE F. SANDY LOAM, V. STONY	8-15%	MOD. WELL	323CH	C
500B/ccccc	UDORTHERTS, LOAMY	0-8%	WELL	263BH	C
500C/ccccc	UDORTHERTS, LOAMY	8-15%	WELL	263CH	C
500D/ccccc	UDORTHERTS, LOAMY	15-25%	WELL	263DH	C
500E/ccccc	UDORTHERTS, LOAMY	25% +	WELL	263EH	C
500B/hcccc	UDORTHERTS, LOAMY	0-8%	MOD. WELL	363BH	C
500C/hcccc	UDORTHERTS, LOAMY	0-8%	UNDETERM.	763BH	C
657B	RIDGEBURY F. SANDY LOAM, V. STONY	0-8%	POORLY	523BH	C

* REFER TO ACCOMPANYING REPORT FOR 5-UNIT SUPPLEMENTAL SYMBOL EXPLANATION.

I CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE WITH A TOPCON GT 503. THE ERROR OF CLOSURE ON ALL LOT LINES WITHIN AND BORDERING THE SUBJECT PROPERTY IS BETTER THAN 1 IN 10,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I HEREBY CERTIFY THAT A COPY OF THIS PLAN HAS BEEN FILED WITH THE CHICHESTER PLANNING BOARD IN ACCORDANCE WITH RSA 676:18(IV).

31 DEC. 2019
DATE

